

555 BIRCHS ROAD

555 BIRCHS ROAD, LINCOLN,7608

DATE 02.02.26
REF NO. 5503
REVISION D

ISSUE
FOR CLIENT APPROVAL



LANDSCAPE ARCHITECTS

Te Uruti Building, 48 Hereford St, Chch, 8140
Mountain Club, Level 3, 36 Grant Rd, Qtn, 9300

T. +64 3 366 8181
E. admin@kamommarsh.co.nz
W. kamommarsh.co.nz

FOR
BIRCHFIELDS ESTATES

SHEET NO.	SHEET TITLE
1001	DEVELOPMENT MASTERPLAN
1002	BIRCHS RD ENTRANCE
1003	BIRCHS RD ENTRANCE WALL
1004	CONCEPT PLAN - STAGE 1
1005	CONCEPT PLAN - STAGE 2
1006	CONCEPT PLAN - STAGE 3 & 6
1007	CONCEPT PLAN - STAGE 4
1008	CONCEPT PLAN - STAGE 5
1009	CONCEPT PLAN - RESERVE 302, 303 & LINK RESERVES
1010	CONCEPT PLAN - SMARTS DRAIN
1011	CONCEPT PLAN - RESERVE 304 & 305
1012	PLANTING PLAN - SMARTS DRAIN
1013	FENCING MASTERPLAN
1014	HARD/ SOFT PALETTE
1015	BIRCHS RD ENTRANCE WALL

LEGEND

- STAGE BOUNDARY
- SITE BOUNDARY
- PRIVATE LOT BOUNDARY
- ASPHALT
- INSITU PLAIN CONCRETE (WITH CUTS)
- HOLLAND 80' 200Lx100Wx800mm - Natural colour, hairface.
- LAWN
- PLANTING
- SPECIMEN TREE 1.0x1.0x1.0m Tree Pit
- INDICATIVE DRAIN/ WATERWAY
- TIMBER BOLLARD FENCE & CABLE
- CONCRETE WALL
- CONCRETE COLUMN
- BOLLARDS

INDICATIVE SMARTS DRAIN/ WATERWAY ALIGNMENT
Refer to Sheet 1010 for details.
Drain/ Waterway alignment to be confirmed with DAVIE LOVELL- SMITH drawings.

RESERVE - LOT 304
Refer to Sheet 1010 for details.

RESERVE - LOT 305
Refer to Sheet 1010 for details.

RESERVE - LOT 303
Refer to Sheet 1009 for details.

RESERVE - LOT 302
Refer to Sheet 1009 for details.

LINK RESERVE
Refer to Sheet 1009 for details.

STAGE 7
DETAILS TO BE CONFIRMED
FOLLOWING DESIGN DEVELOPMENT

NOTES

- Confirm set out of all dimensions on site prior to commencing work.
- Do not scale off drawings.

C	08.12.25	For Client Approval
B	15.07.25	RESOURCE CONSENT
A	12.03.25	CONCEPT PLAN
REV	DATE	DESCRIPTION



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Mountain Club, Level 3, 36 Grant Rd, Qtn, 9300

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SHEET TITLE
DEVELOPMENT MASTERPLAN

ISSUE
FOR CLIENT APPROVAL

DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	1:2000	A3
	1:1000	A1
REF NO.	5503	
SHEET NO.		REVISION

0 20 40 60 80 100 m

LEGEND

- STAGE BOUNDARY
--- SITE BOUNDARY
--- PRIVATE LOT BOUNDARY
ASPHALT
IN SITU PLAIN CONCRETE (WITH CUTS)
"HOLLAND 80" 200x100x80mm
- Natural colour, hairface.
LAWN
PLANTING
SPECIMEN TREE
1.0x1.0x1.0m Tree Pit
INDICATIVE DRAIN/ WATERWAY
TIMBER BOLLARD FENCE & CABLE
CONCRETE WALL
CONCRETE COLUMN
BOLLARDS

NOTES

1. Confirm set out of all dimensions on site prior to commencing work.
2. Do not scale off drawings.

D	02.02.26	For Client Approval
C	08.12.25	For Client Approval
B	15.07.25	RESOURCE CONSENT
A	12.03.25	CONCEPT PLAN
REV	DATE	DESCRIPTION

Kamo Marsh

Te Uruti Building, 48 Hereford St, Chch, 8140
Mountain Club, Level 3, 36 Grant Rd, Qtn, 9300

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E. admin@kamommarsh.co.nz

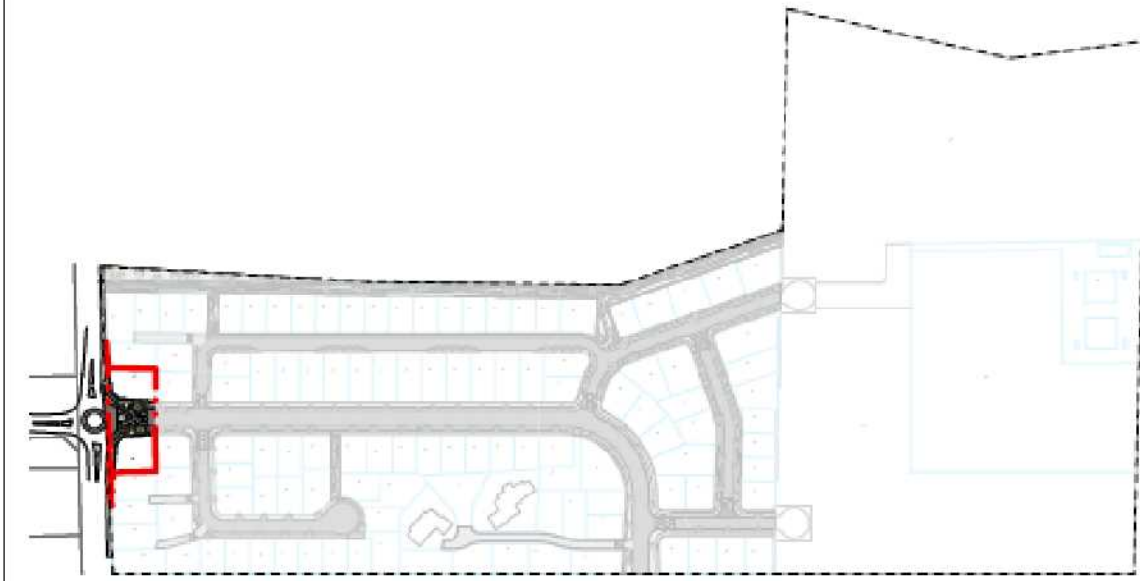
W. kamommarsh.co.nz

SHEET TITLE

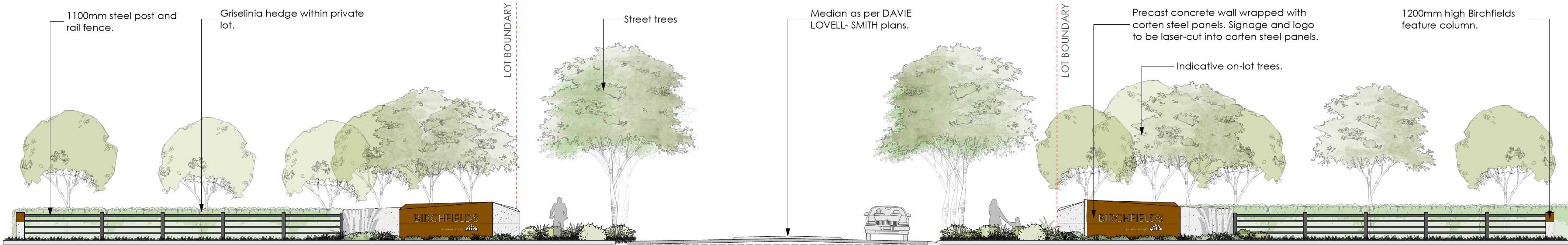
BIRCHS RD ENTRANCE

ISSUE
FOR CLIENT APPROVAL

DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	1:200/ 1:400 1:100/ 1:200	A3 A1
REF NO.	5503	
SHEET NO.		REVISION

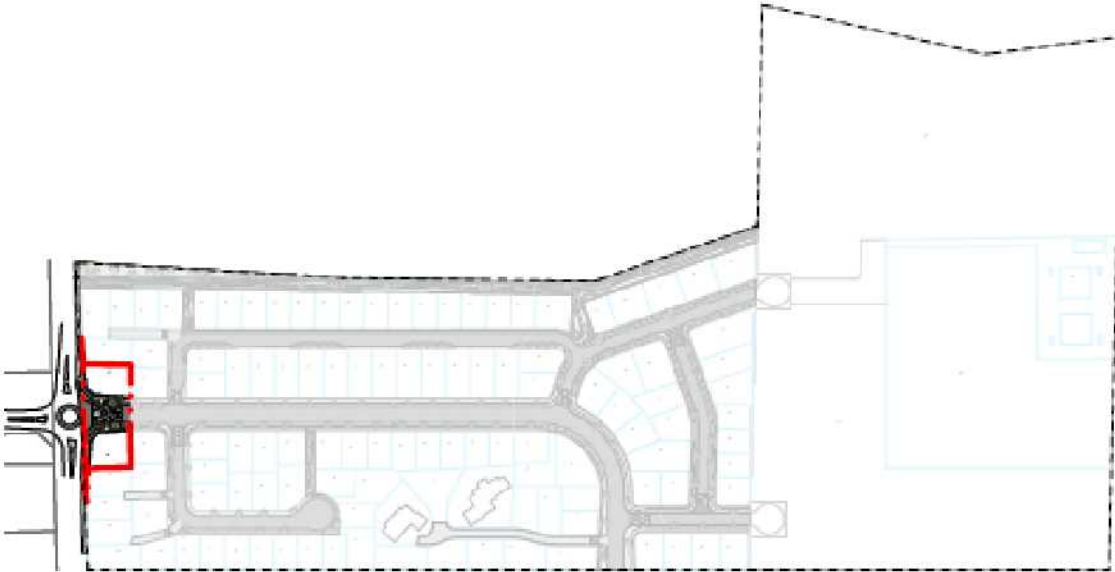


LOCATION PLAN
1:5000 @ A1 | 1:10000 @ A3

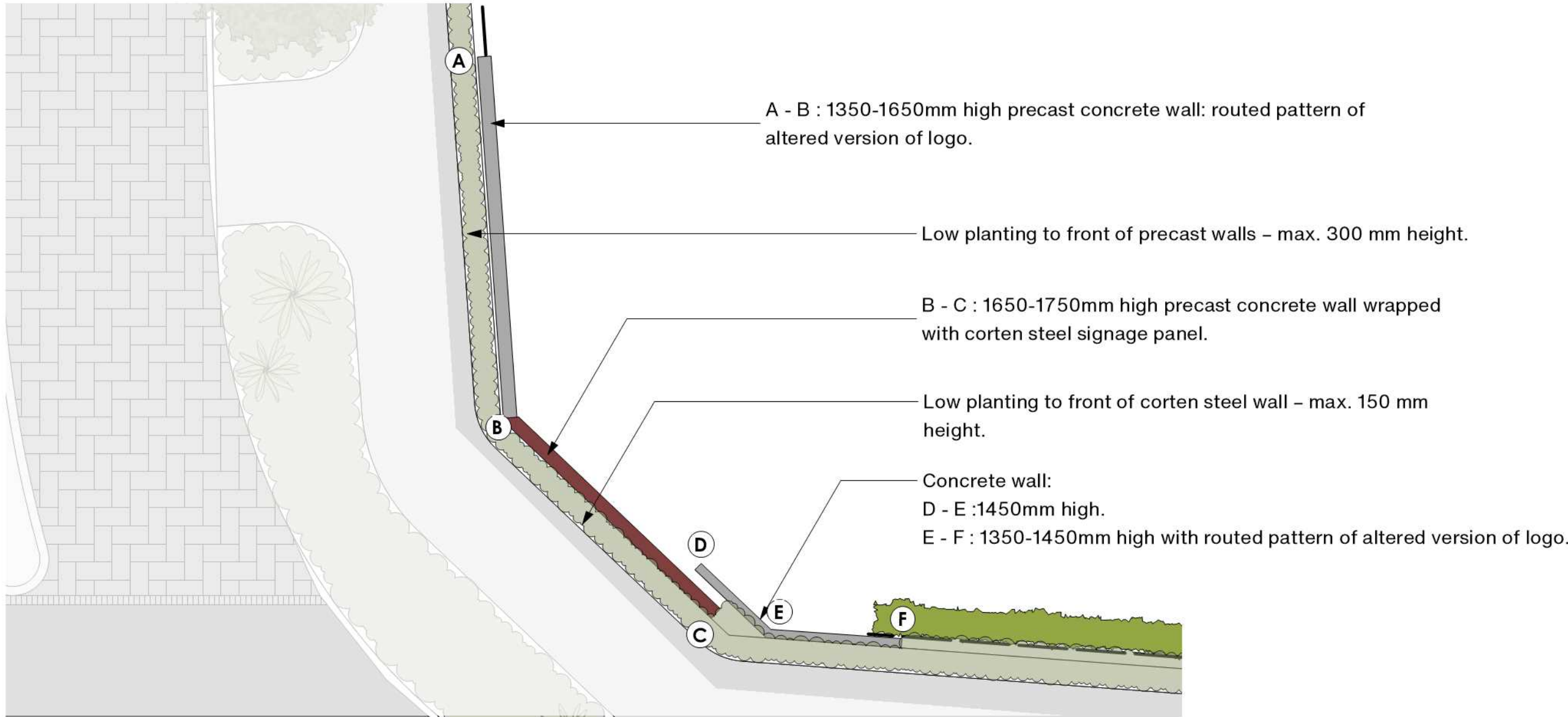


BIRCHS RD FRONTAGE ELEVATION

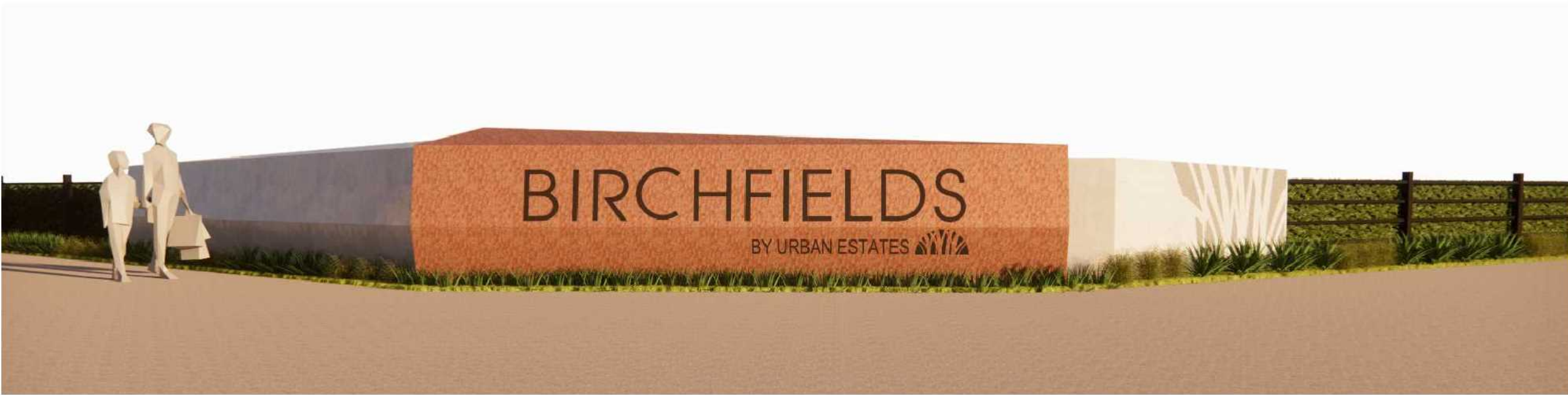
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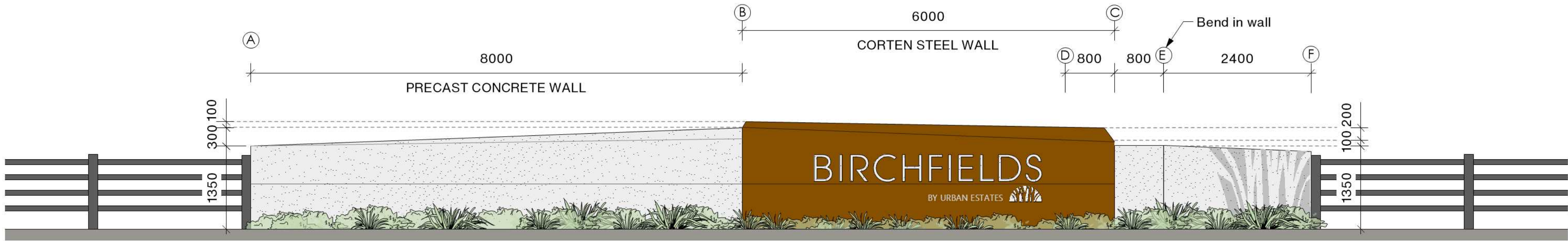
LOCATION PLAN
1:5000 @ A1 | 1:10000 @ A3



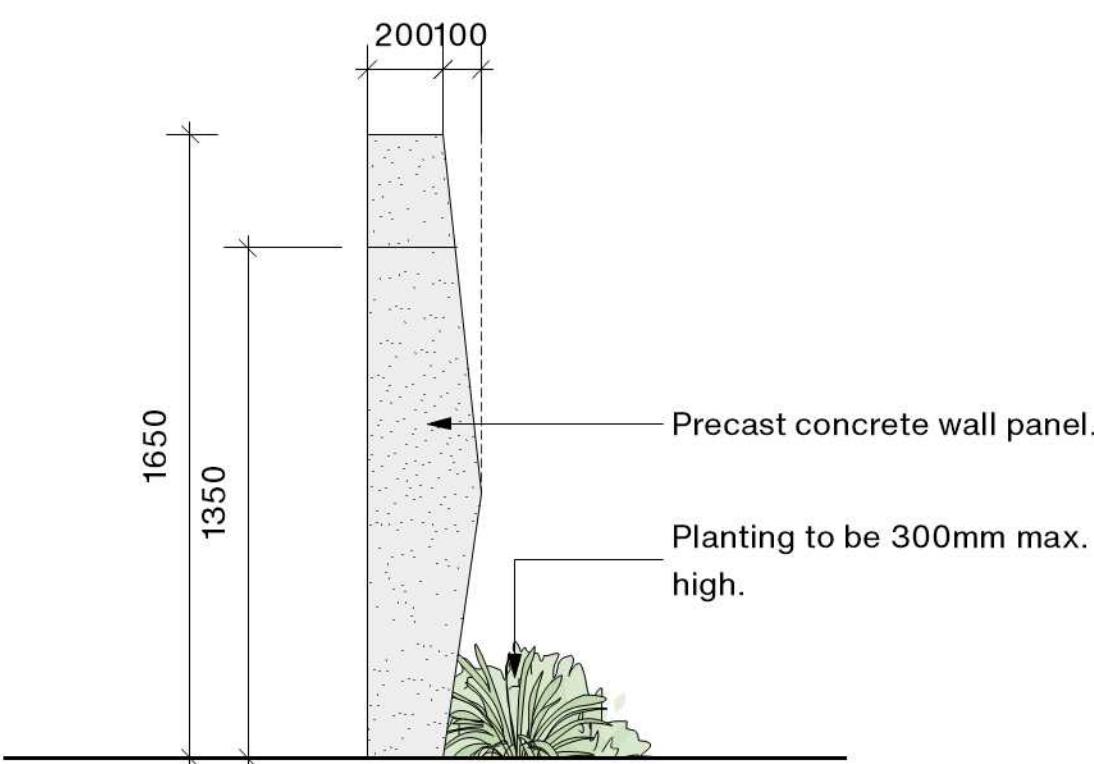
1 BIRCHFIELDS ENTRANCE WALL PLAN



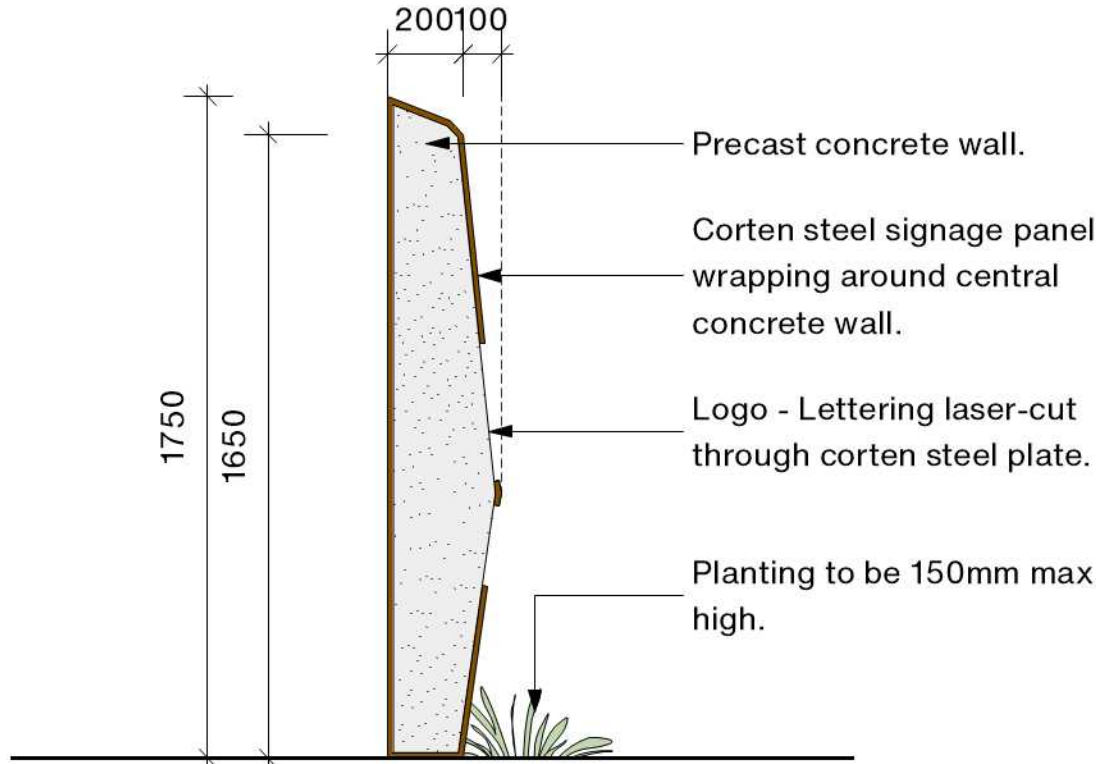
BIRCHFIELDS ENTRANCE WALL RENDER



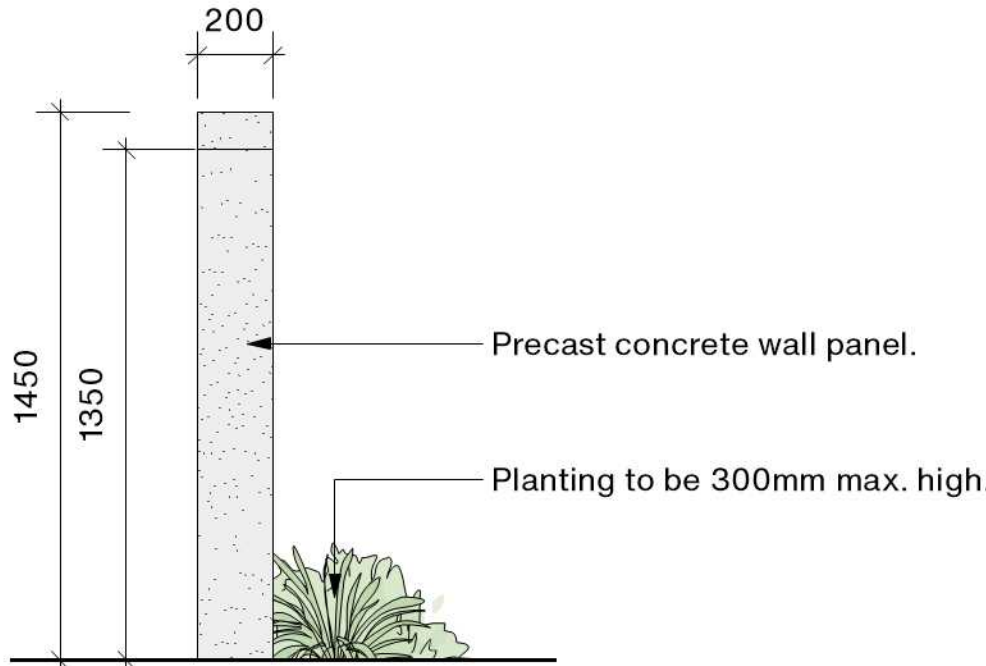
2 BIRCHFIELDS ENTRANCE WALL - DEVELOPED ELEVATION
Scale: 1:50 @ A1 | 1:100 @ A3



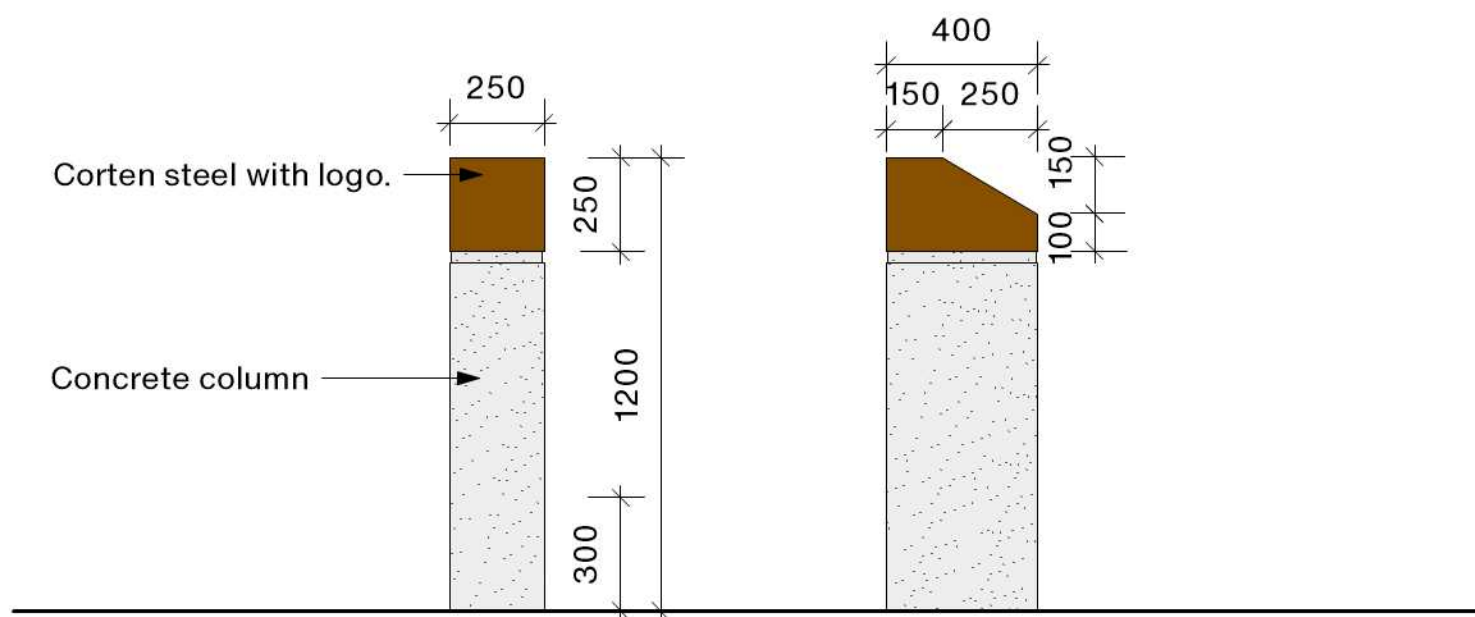
A - B PRECAST CONCRETE WALL ELEVATION



B - C PRECAST CONCRETE WALL ELEVATION



D - F PRECAST CONCRETE WALL ELEVATION

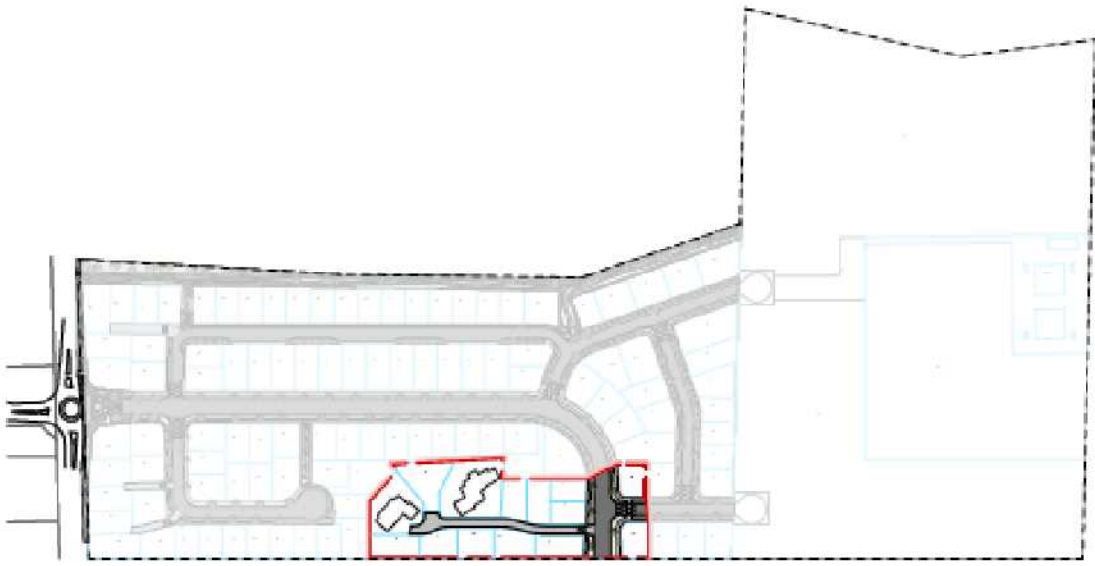


4 BIRCHFIELDS FEATURE COLUMN ELEVATION
Scale: 1:20 @ A1 | 1:40 @ A3

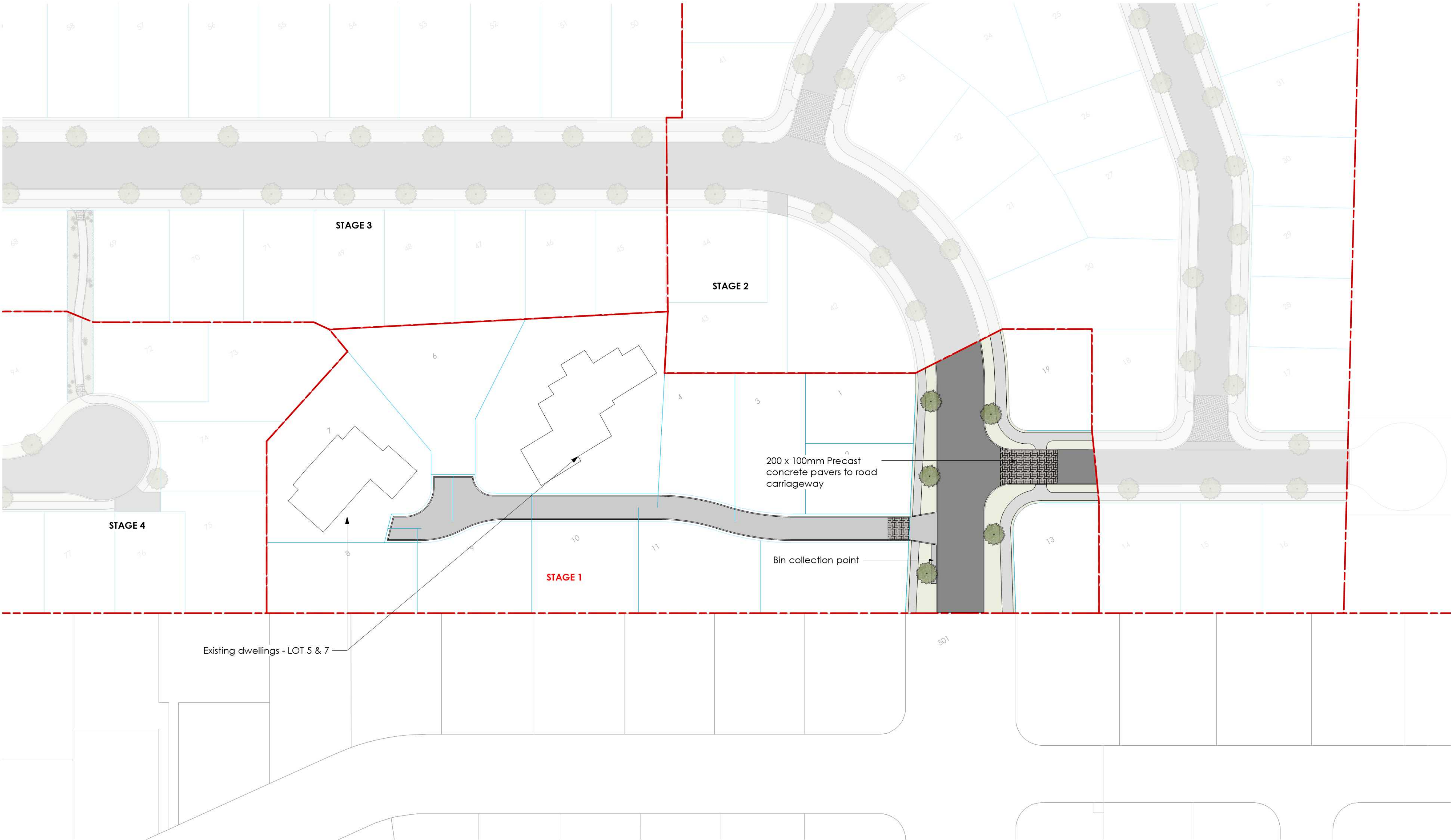
- NOTES
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 - Do not scale off drawings.

C	02.02.26	For Client Approval
B	08.12.25	For Client Approval
A	15.07.25	RESOURCE CONSENT
REV	DATE	DESCRIPTION
Kamo Marsh Te Uruti Building, 48 Hereford St, Chch, 8140 Mountain Club, Level 3, 36 Grant Rd, Qtn, 9300 T. +64 3 366 8181 E. admin@kamommarsh.co.nz W. kamommarsh.co.nz		
SHEET TITLE		
BIRCHS RD ENTRANCE WALL		

ISSUE		
FOR CLIENT APPROVAL		
DESIGN	DRAWN	REVIEW
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DATE	02.02.26	
SCALE	1:100	A3
	1:50	A1
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LOCATION PLAN
1:5000 @ A1 | 1:10000 @ A3



PROJECT NAME

555 BIRCHS ROAD

STAGE 1

ADDRESS

555 BIRCHS ROAD, LINCOLN, 7608

CLIENT

BIRCHFIELDS ESTATES

LEGEND

STAGE BOUNDARY

SITE BOUNDARY

PRIVATE LOT BOUNDARY

ASPHALT

INSITU PLAIN CONCRETE (WITH CUTS)

HOLLAND 80' 200x100Wx80Dmm - Natural colour, hairface.

LAWN

PLANTING

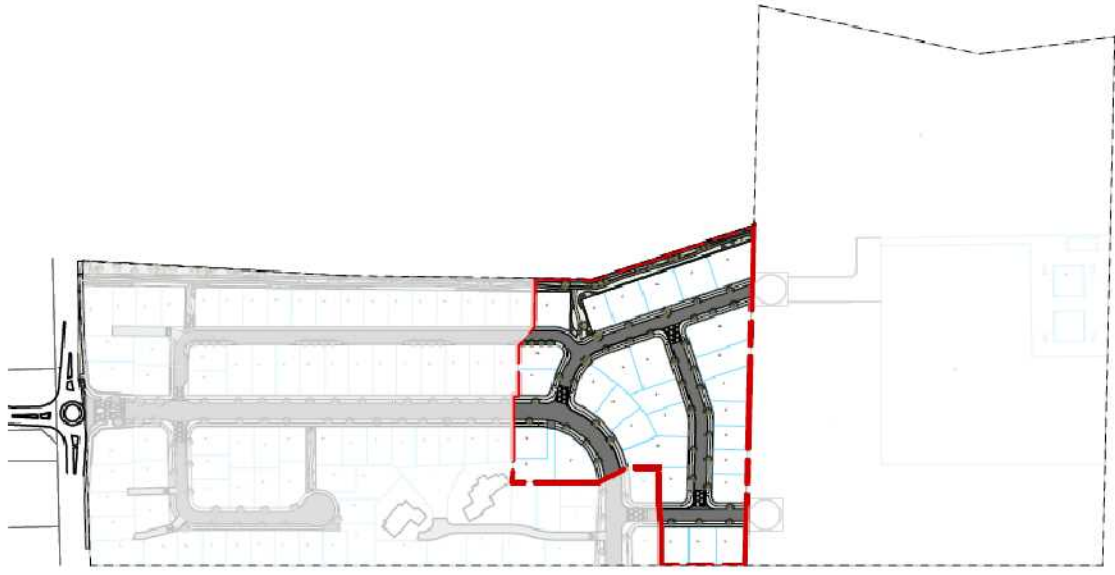
SPECIMEN TREE 1.0x1.0x1.0m Tree Pit

- NOTES
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2. Do not scale off drawings.

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SHEET TITLE		
CONCEPT PLAN - STAGE 1		

ISSUE		
FOR CLIENT APPROVAL		
DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	1:1000	A3
	1:500	A1
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LOCATION PLAN
1:5000 @ A1 | 1:10000 @ A3

INDICATIVE SMARTS DRAIN/ WATERWAY ALIGNMENT
Drain/ Waterway alignment to be confirmed with
DAVIE LOVELL- SMITH drawings.

RESERVE - LOT 302
Refer to Sheet 1009 for details.

RESERVE - LOT 305
Refer to Sheet 1010 for details.

200 x 100mm Precast
concrete pavers to road
carriageway

Driveway Crossing. Details refer to
DAVIE LOVELL- SMITH drawings.

PROJECT NAME
555 BIRCHS ROAD

STAGE 2
ADDRESS
555 BIRCHS ROAD, LINCOLN,7608

CLIENT
BIRCHFIELDS ESTATES

LEGEND

- STAGE BOUNDARY
- SITE BOUNDARY
- PRIVATE LOT BOUNDARY
- ASPHALT
- INSITU PLAIN CONCRETE
(WITH CUTS)
- "HOLLAND 80" 200Lx100Wx80Dmm
- Natural colour, hairface.
- LAWN
- PLANTING
- SPECIMEN TREE
1.0x1.0x1.0m Tree Pit
- INDICATIVE DRAIN/ WATERWAY
- TIMBER BOLLARD FENCE & CABLE
- CONCRETE WALL
- CONCRETE COLUMN
- BOLLARDS

NOTES

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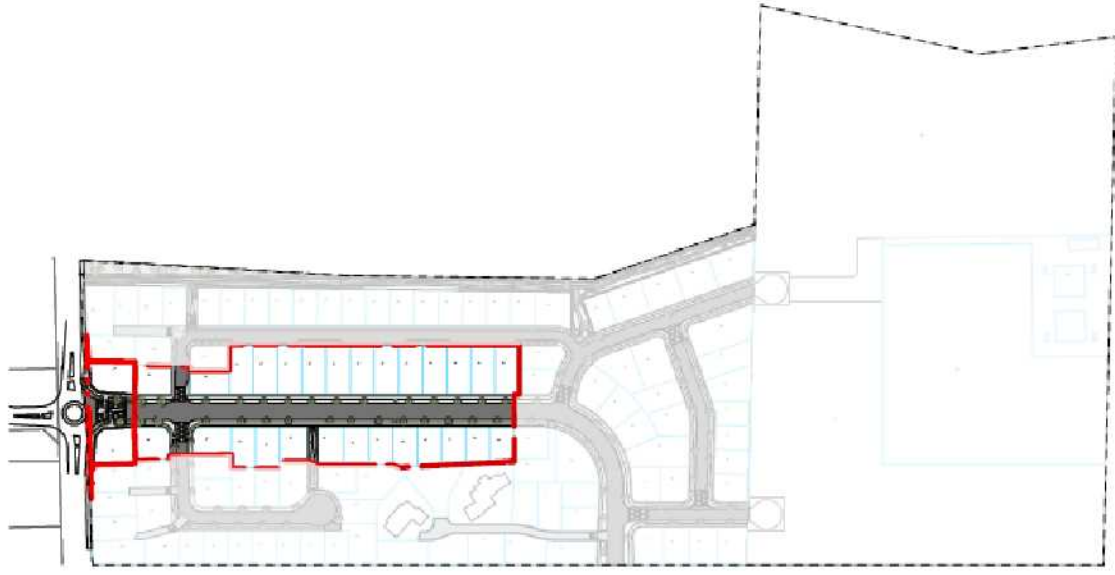
Kamo Marsh
Te Uruti Building, 48 Hereford St, Chch, 8140
Mountain Club, Level 3, 36 Grant Rd, Qtn, 9300
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W. kamommarsh.co.nz

SHEET TITLE
CONCEPT PLAN - STAGE 2

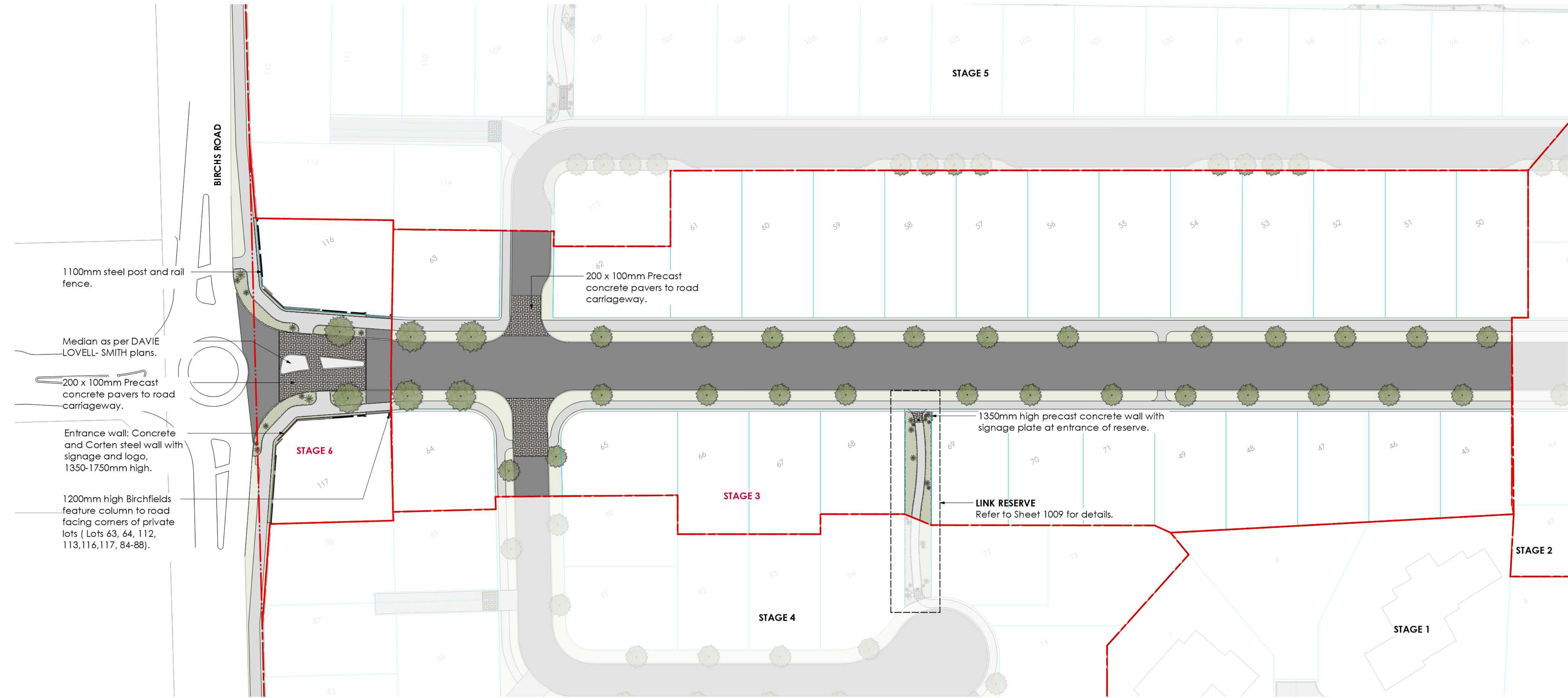
ISSUE
FOR CLIENT APPROVAL

DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	1:1000 1:500	A3 A1
REF NO.	5503	
SHEET NO.		REVISION

1005 C



LOCATION PLAN
1:5000 @ A1 | 1:10000 @ A3



PROJECT NAME
555 BIRCHS ROAD

STAGE 3
ADDRESS
555 BIRCHS ROAD, LINCOLN,7608

CLIENT
BIRCHFIELDS ESTATES

- LEGEND
- STAGE BOUNDARY
 - SITE BOUNDARY
 - PRIVATE LOT BOUNDARY
 - ASPHALT
 - INSITU PLAIN CONCRETE (WITH CUTS)
 - "HOLLAND 80" 200Lx100Wx80Dmm - Natural colour, hairface.
 - LAWN
 - PLANTING
 - SPECIMEN TREE 1.0x1.0x1.0m Tree Pit
 - INDICATIVE DRAIN/ WATERWAY
 - TIMBER BOLLARD FENCE & CABLE
 - CONCRETE WALL
 - CONCRETE COLUMN
 - BOLLARDS

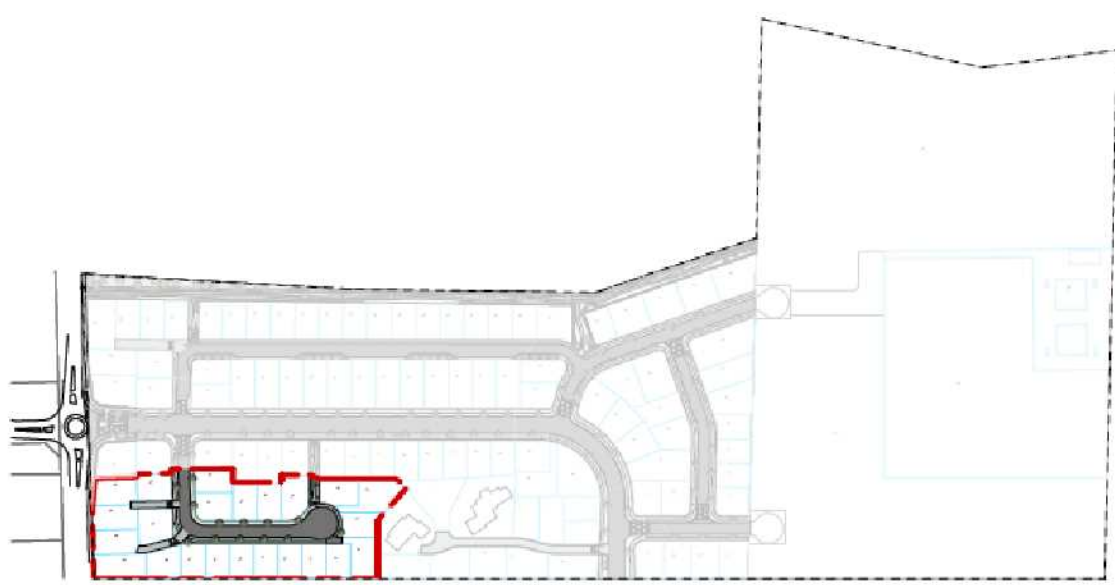
- NOTES
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 - Do not scale off drawings.

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B	15.07.25	RESOURCE CONSENT
A	12.03.25	CONCEPT PLAN
REV	DATE	DESCRIPTION

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SHEET TITLE
CONCEPT PLAN - STAGE 3 & 6

FOR CLIENT APPROVAL		
DESIGN DK	DRAWN AZ	REVIEW DK
DATE	02.02.26	
SCALE	1:1000 1:500	A3 A1
REF NO.	5503	
SHEET NO.		REVISION



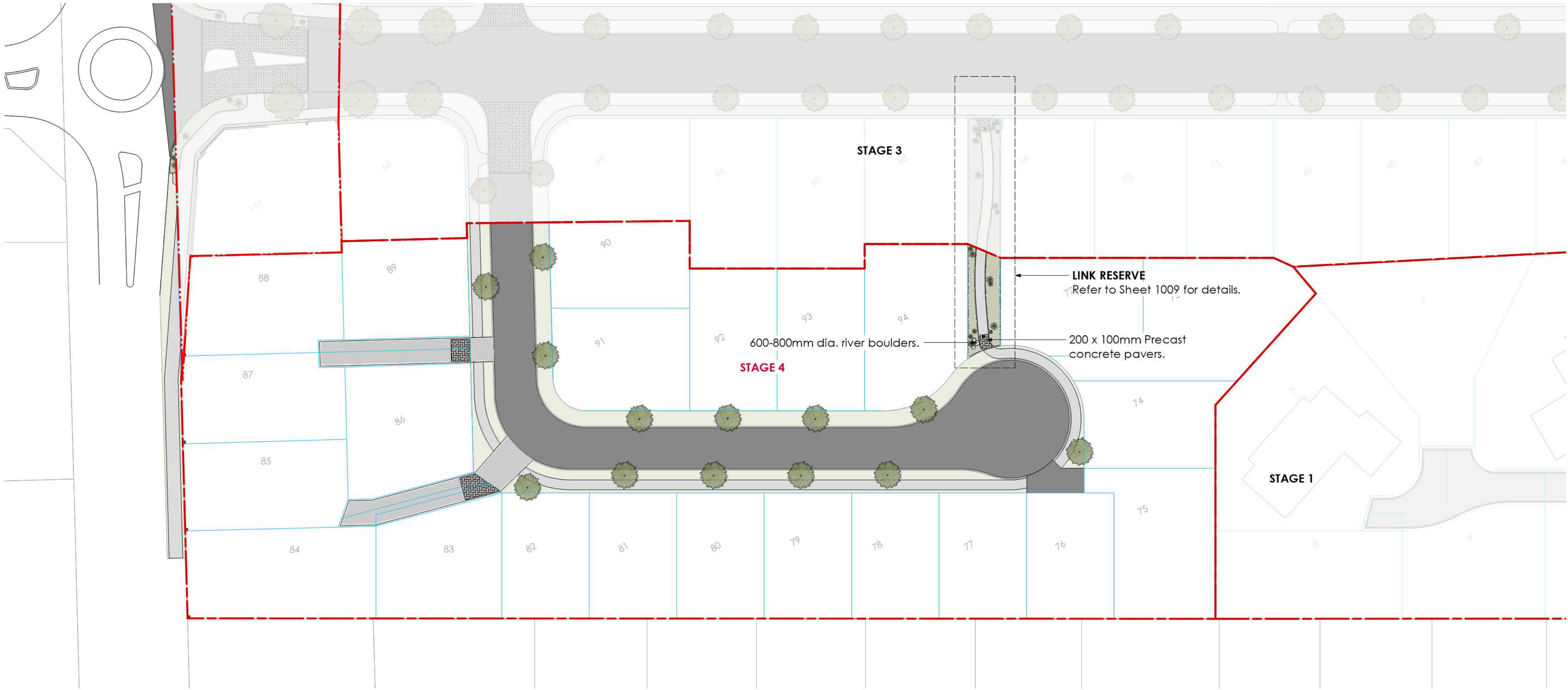
PROJECT NAME
555 BIRCHS ROAD

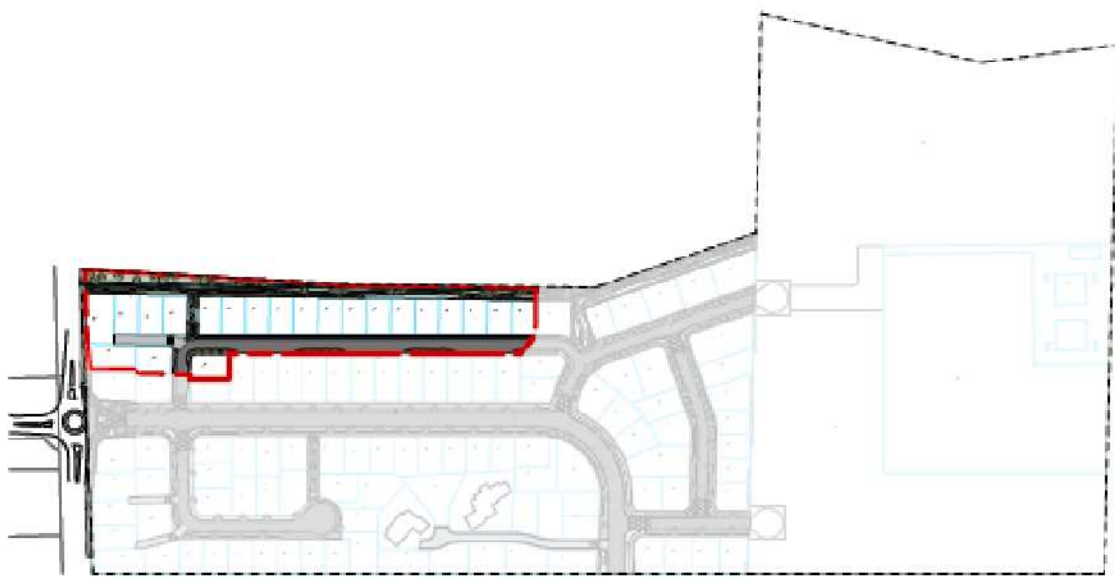
STAGE 4
ADDRESS
555 BIRCHS ROAD, LINCOLN, 7608

CLIENT
BIRCHFIELDS ESTATES

LEGEND

- STAGE BOUNDARY
- SITE BOUNDARY
- PRIVATE LOT BOUNDARY
- ASPHALT
- INSITU PLAIN CONCRETE (WITH CUTS)
- HOLLAND 80' 200Lx100Wx80Dmm - Natural colour, hairface.
- LAWN
- PLANTING
- SPECIMEN TREE 1.0x1.0x1.0m Tree Pit
- INDICATIVE DRAIN/ WATERWAY
- TIMBER BOLLARD FENCE & CABLE
- CONCRETE WALL
- CONCRETE COLUMN
- BOLLARDS





LOCATION PLAN
1:5000 @ A1 | 1:10000 @ A3

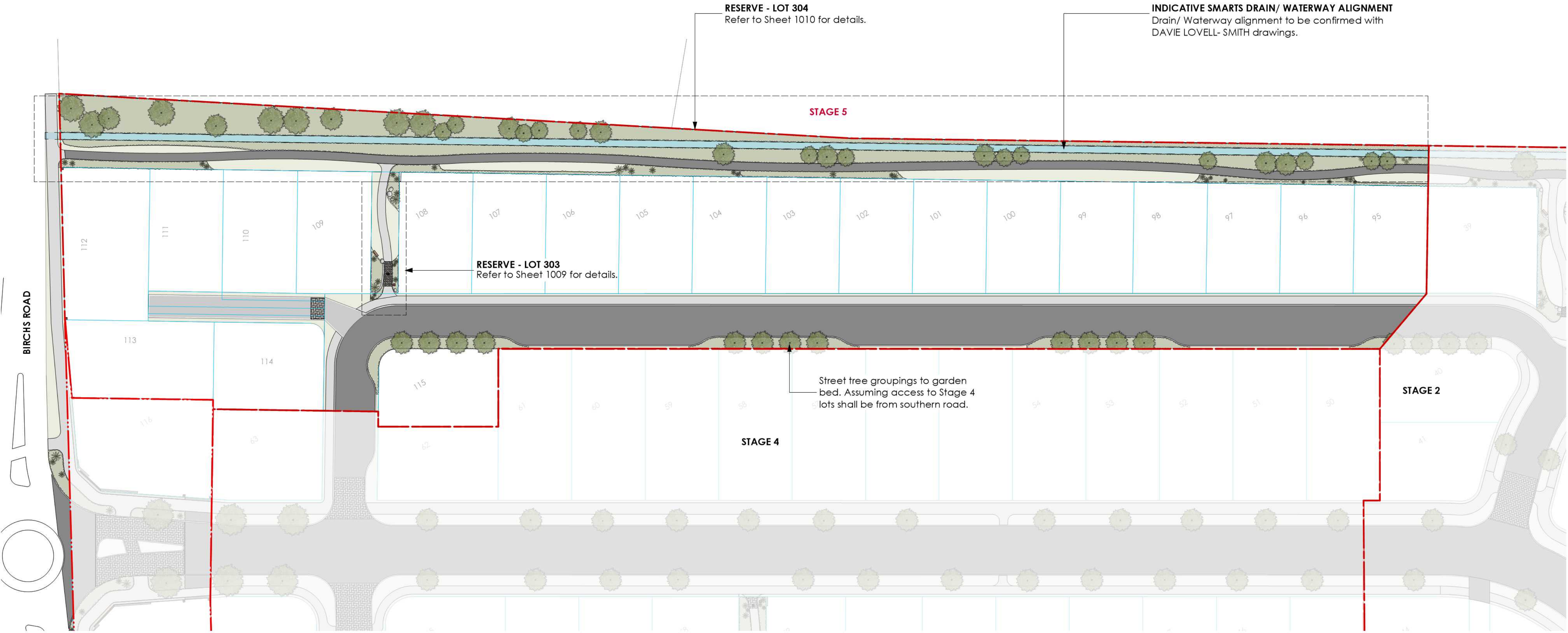
PROJECT NAME
555 BIRCHS ROAD

STAGE 5
ADDRESS
555 BIRCHS ROAD, LINCOLN, 7608

CLIENT
BIRCHFIELDS ESTATES

LEGEND

- STAGE BOUNDARY
- SITE BOUNDARY
- PRIVATE LOT BOUNDARY
- ASPHALT
- INSITU PLAIN CONCRETE (WITH CUTS)
- HOLLAND 80' 200x100Wx80Dmm - Natural colour, hairface.
- LAWN
- PLANTING
- SPECIMEN TREE 1.0x1.0x1.0m Tree Pit
- INDICATIVE DRAIN/ WATERWAY
- TIMBER BOLLARD FENCE & CABLE
- CONCRETE WALL
- CONCRETE COLUMN
- BOLLARDS



NOTES

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- Do not scale off drawings.

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A	12.03.25	CONCEPT PLAN
REV	DATE	DESCRIPTION

Kamo Marsh
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W. kamommarsh.co.nz

SHEET TITLE
CONCEPT PLAN - STAGE 5

FOR CLIENT APPROVAL		
DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	1:1000 1:500	A3 A1
REF NO.	5503	
SHEET NO.	REVISION	

CONCEPT PLAN - RESERVE

ADDRESS
555 BIRCHS ROAD, LINCOLN,7608

CLIENT
BIRCHFIELDS ESTATES

LEGEND

- STAGE BOUNDARY
- SITE BOUNDARY
- PRIVATE LOT BOUNDARY
- ASPHALT
- INSITU PLAIN CONCRETE (WITH CUTS)
- 'HOLLAND 80' 200Lx100Wx80Dmm - Natural colour, fairface.
- LAWN
- PLANTING
- SPECIMEN TREE 1.0x1.0x1.0m Tree Pit
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REV	DATE	DESCRIPTION

Kamo Marsh

Te Uruti Building, 48 Hereford St, Chch, 8140
Mountain Club, Level 3, 36 Grant Rd, Qtn, 9300

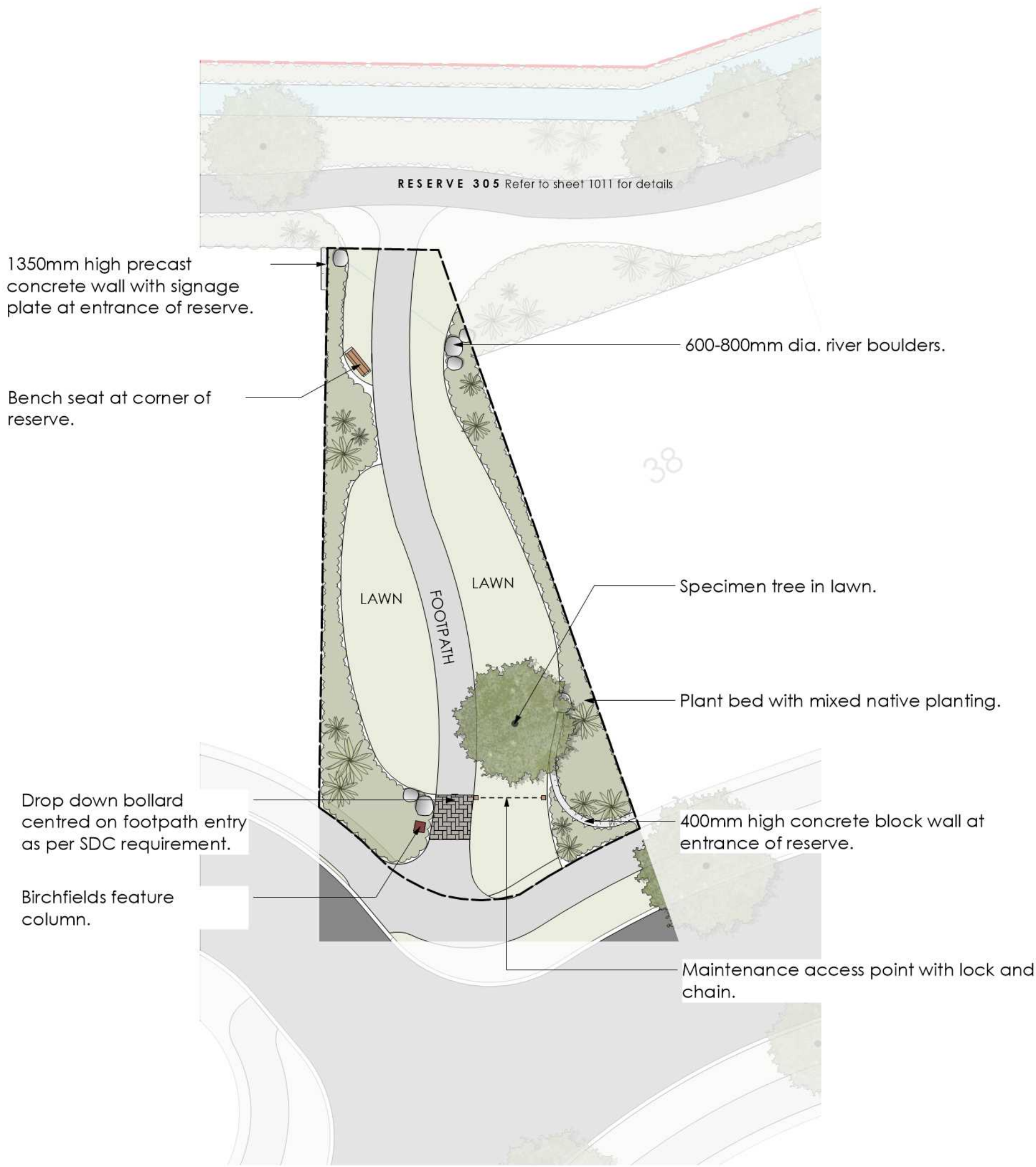
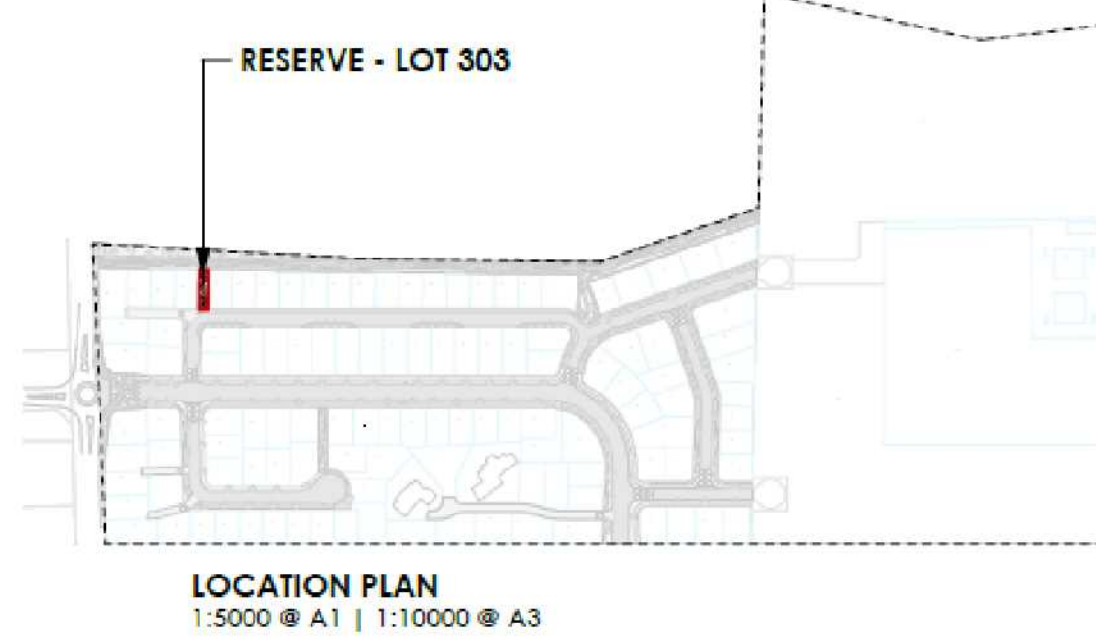
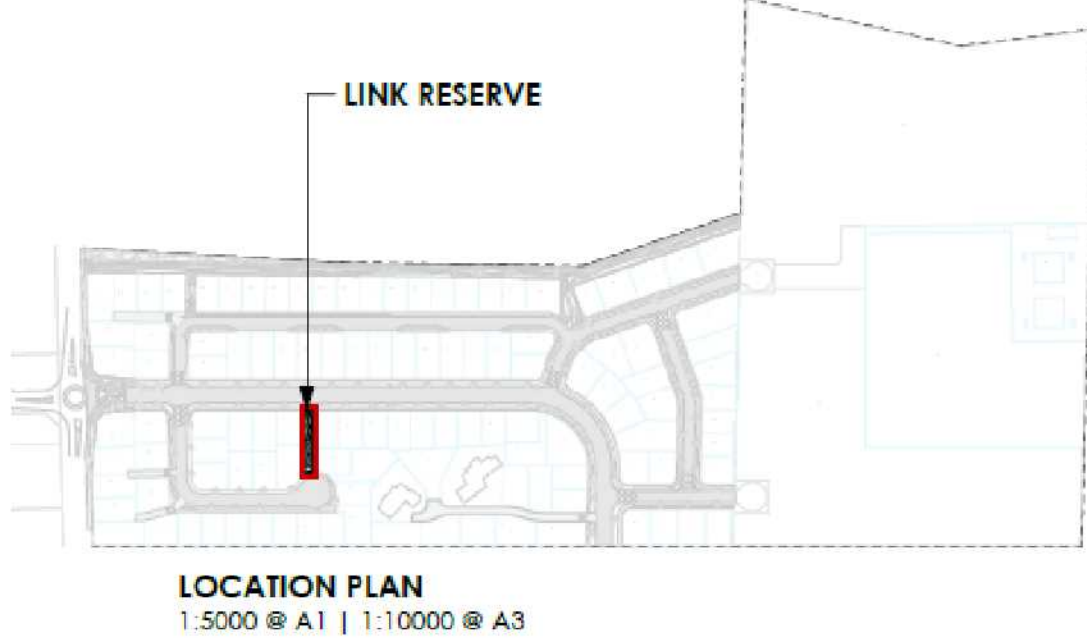
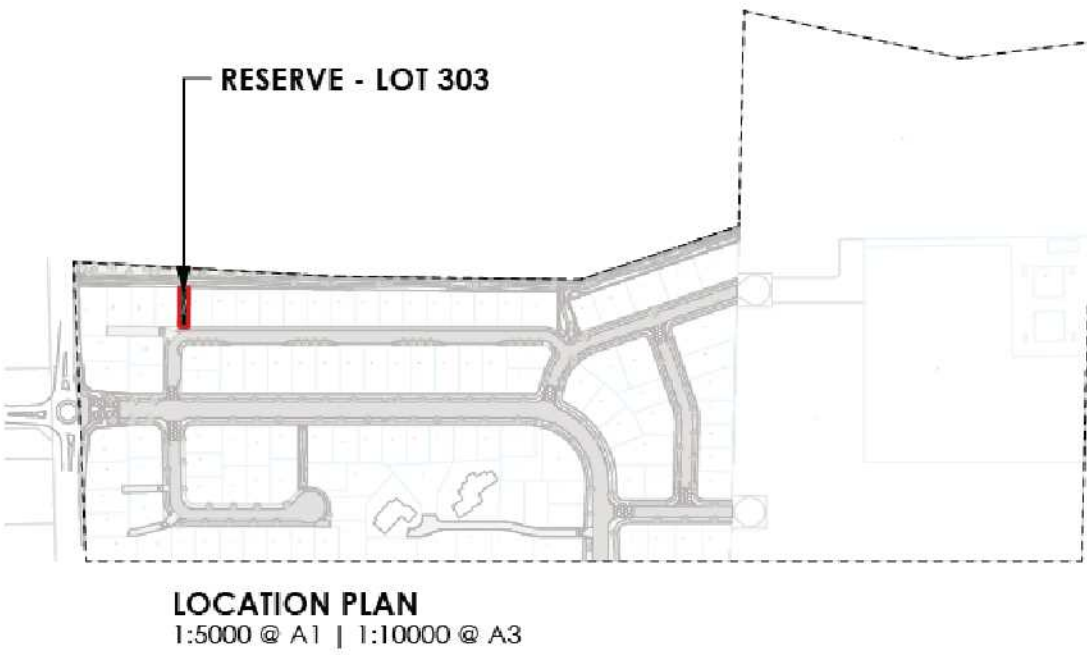
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SHEET TITLE

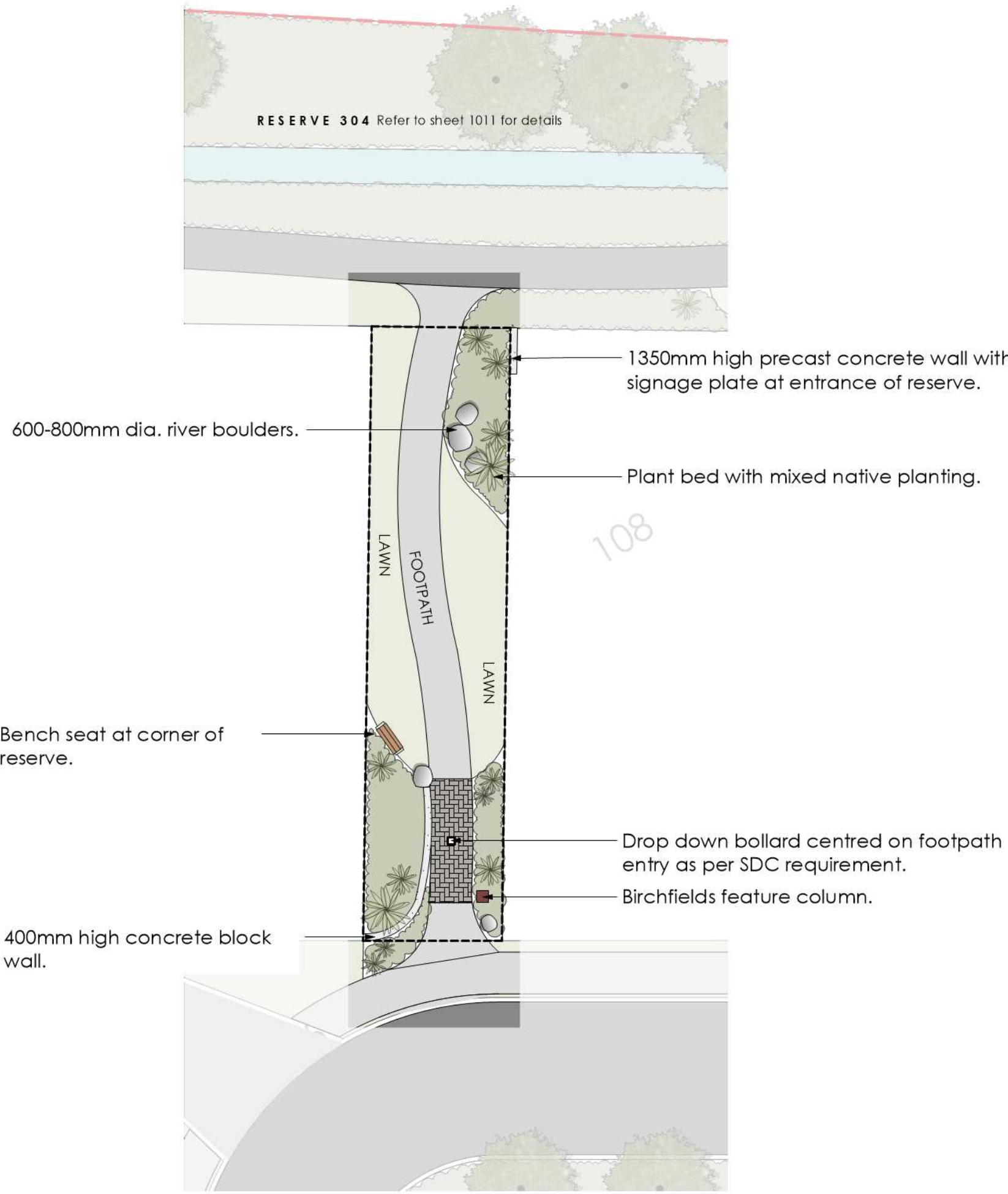
CONCEPT PLAN - RESERVE 302, 303 & LINK RESERVES

ISSUE
FOR CLIENT APPROVAL

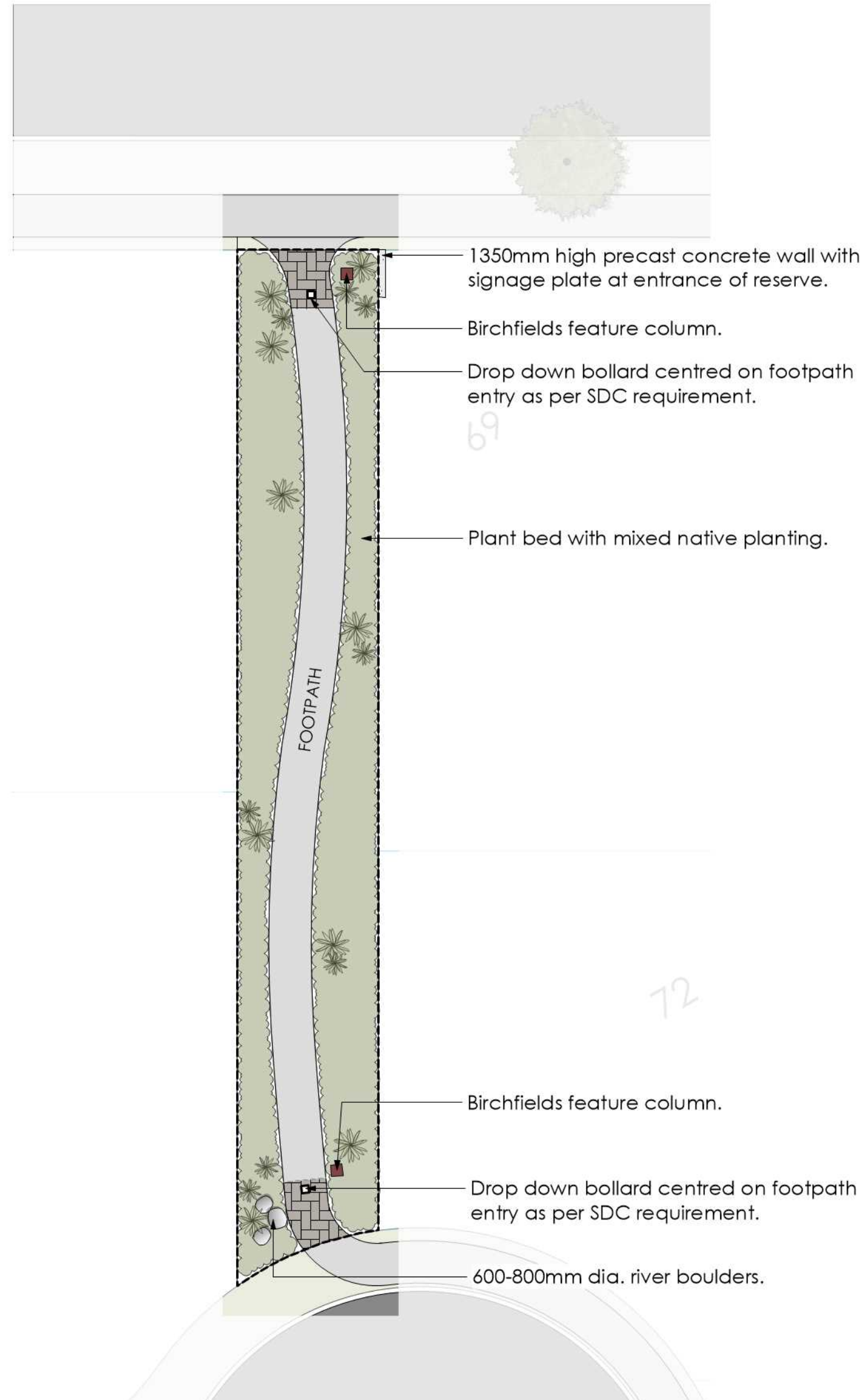
DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	1:400 1:200	A3 A1
REF NO.	5503	
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RESERVE - LOT 302 PLAN
Scale: 1:200 @ A1 | 1:400 @ A3



RESERVE - LOT 303 PLAN
Scale: 1:200 @ A1 | 1:400 @ A3



LINK RESERVE PLAN
Scale: 1:200 @ A1 | 1:400 @ A3



MASTERPLAN

ADDRESS
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CLIENT
BIRCHFIELDS ESTATES

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- CONCRETE WALL
- CONCRETE COLUMN
- BOLLARDS

NOTES

- A. Confirm set out of all dimensions on site prior to commencing work.
- B. Do not scale off drawings.
- C. A 'For Construction' package must be issued prior to any works being carried out by the contractor.
- D. All works to comply with 'SDC Code Of Practice' Part 10.

B	08.12.25	For Client Approval
A	15.07.25	RESOURCE CONSENT
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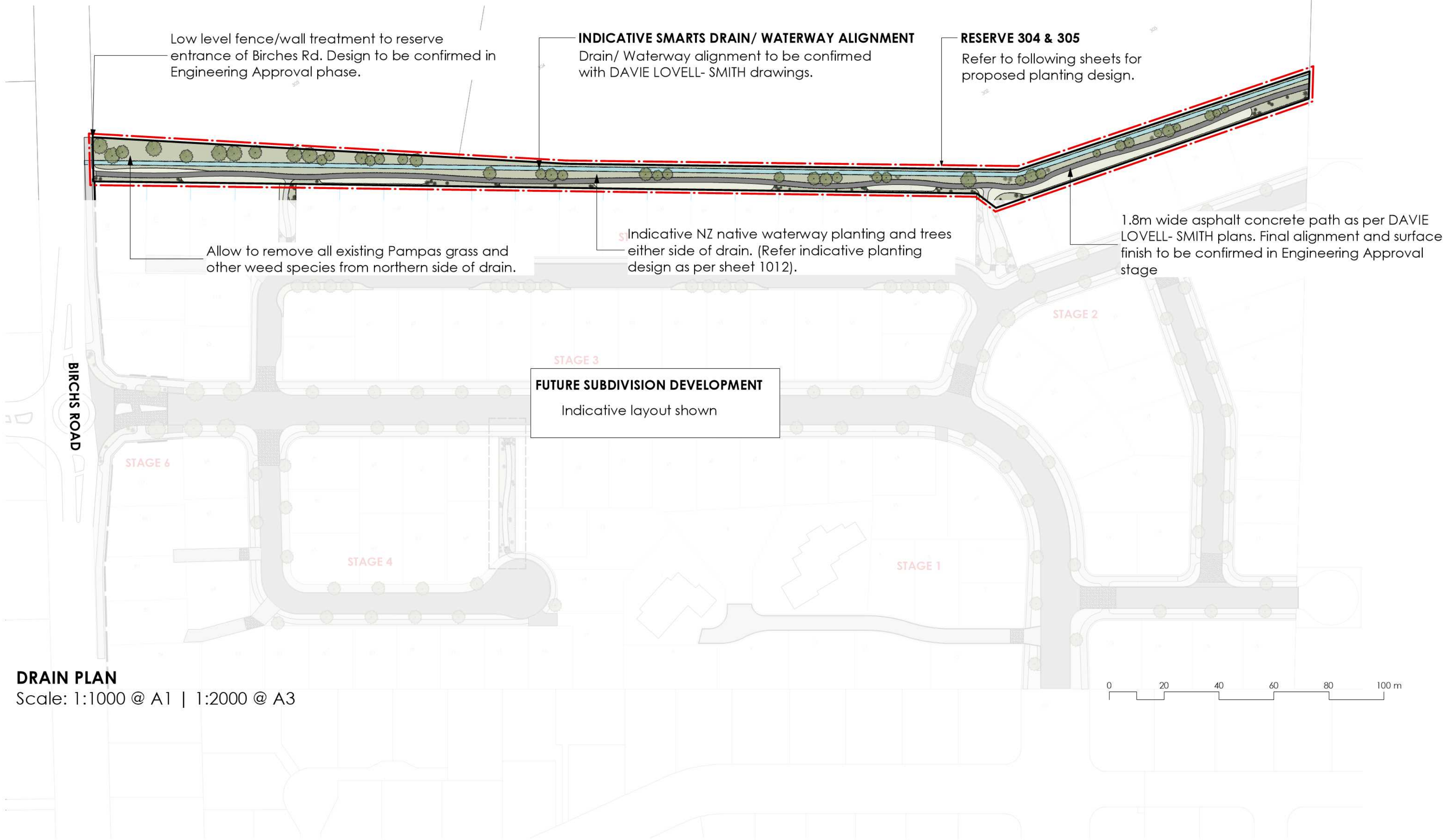
SHEET TITLE
CONCEPT PLAN - SMARTS DRAIN

ISSUE
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SCALE	1:2000 1:1000	A3 A1
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LOCATION PLAN
1:5000 @ A1 | 1:10000 @ A3

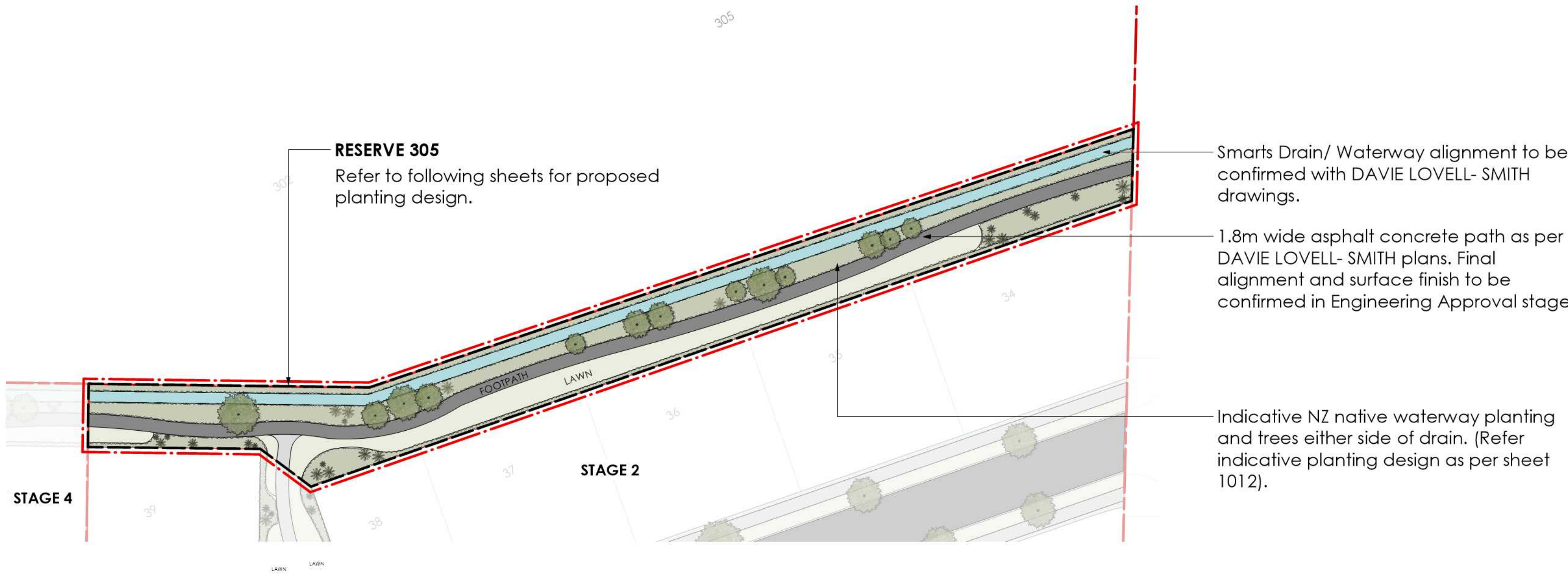
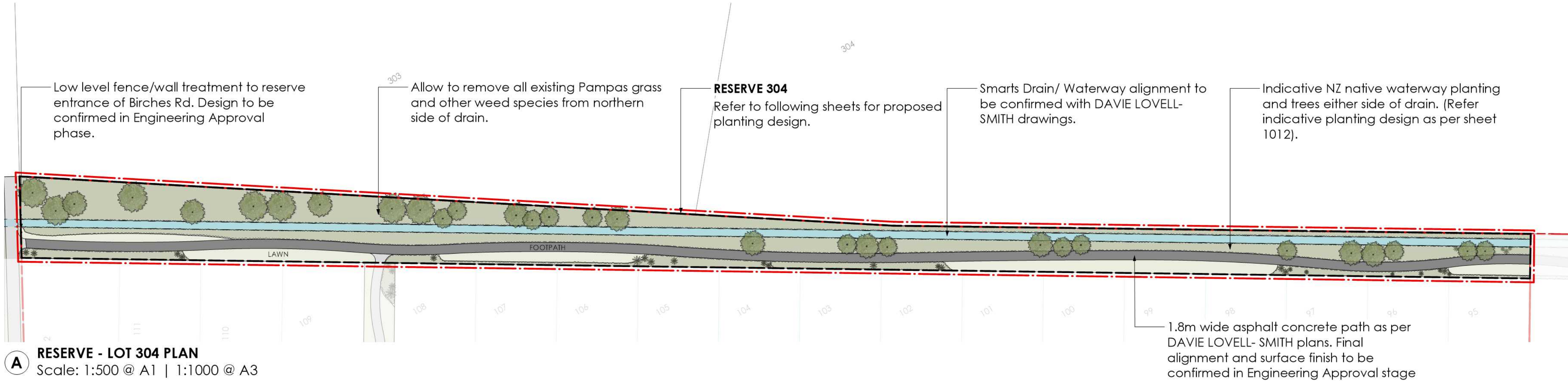


LEGEND

- STAGE BOUNDARY
--- SITE BOUNDARY
--- PRIVATE LOT BOUNDARY
- ASPHALT
INSITU PLAIN CONCRETE (WITH CUTS)
'HOLLAND 80' 200x100Wx80Dmm - Natural colour, fairface.
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PLANTING
- SPECIMEN TREE
1.0x1.0x1.0m Tree Pit
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CONCRETE COLUMN
BOLLARDS



LOCATION PLAN
1:5000 @ A1 | 1:10000 @ A3



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E. admin@kamommarsh.co.nz		
W. kamommarsh.co.nz		
SHEET TITLE		
CONCEPT PLAN - RESERVE 304 & 305		

ISSUE
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DATE	02.02.26	
SCALE	1:1000 1:500	A3 A1
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SHEET NO.		REVISION

MASTERPLAN

ADDRESS
555 BIRCHS ROAD, LINCOLN,7608

CLIENT
BIRCHFIELDS ESTATES

LEGEND

- STAGE BOUNDARY
--- INDICATIVE DRAIN/ WATERWAY

PLANTING NOTES

- ALL WORK TO COMPLY WITH SDC CODE OF PRACTICE PART 10.
- Planting areas not suitable for loose bark mulching materials are to be lined with suitable coconut/fibre or similar weed matting. This may include very steep slopes or areas that are periodically immersed in water (e.g., stormwater basins).
- All sloped planted areas to use Eco Jute 550gsm weed mat ex. Advance Landscape Systems (or similar approved biodegradable product)
- Confirm set out of all dimensions on site prior to commencing work.
- Do not scale off drawings.
- Subject to SDC approvals
- Alignment of water way is indicative only. Final extent of meander to be confirmed in later design stages.
- Planting species indicated are indicative only. Final plant species list to be confirmed in the detailed design stage.
- Plants must be selected, planted and maintained so that there are clear sightlines. There should be no large bushy shrubs adjacent to the path, and the trees must be limbed up so that the lower limbs are at least 2.5m off the ground.
- Planting of riparian margins with ecologically sensitive, and appropriate indigenous species. Include locally sourced native species, and preferably indigenous and evergreen. Avoid exotic, deciduous species, especially close to the waterway.
- Any shrubs that grow over 1.0m at maturity should be replaced with lower growing plants, or placed a minimum 2.0m from the edge of the path.
- Plants with arching strap like leaves shall be planted a minimum distance of 1.5m from the edge of footpaths.
- Fern should be grown in mass planting, and separated from the Carex and Juncus plants.
- All seating and other furniture design and final positions to be confirmed in the detailed design stage.
- Safety in Design elements including balustrading around stream to be developed at detailed design stage.

NOTES

- A. Confirm set out of all dimensions on site prior to commencing work.
- B. Do not scale off drawings.
- C. A 'For Construction' package must be issued prior to any works being carried out by the contractor.
- D. All works to comply with 'SDC Code Of Practice' Part 10.

B	08.12.25	For Client Approval
A	15.07.25	RESOURCE CONSENT
REV	DATE	DESCRIPTION

**Kamo Marsh**

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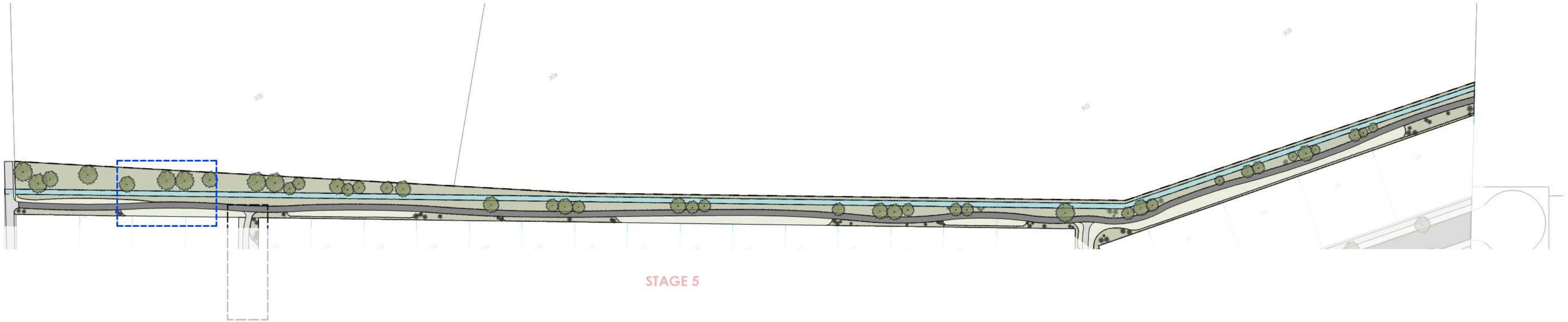
SHEET TITLE
PLANTING PLAN - SMARTS DRAIN

ISSUE
FOR CLIENT APPROVAL

DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	1:100/ 1:200 1:50/ 1:100	A3 A1
REF NO.	5503	
SHEET NO.		REVISION

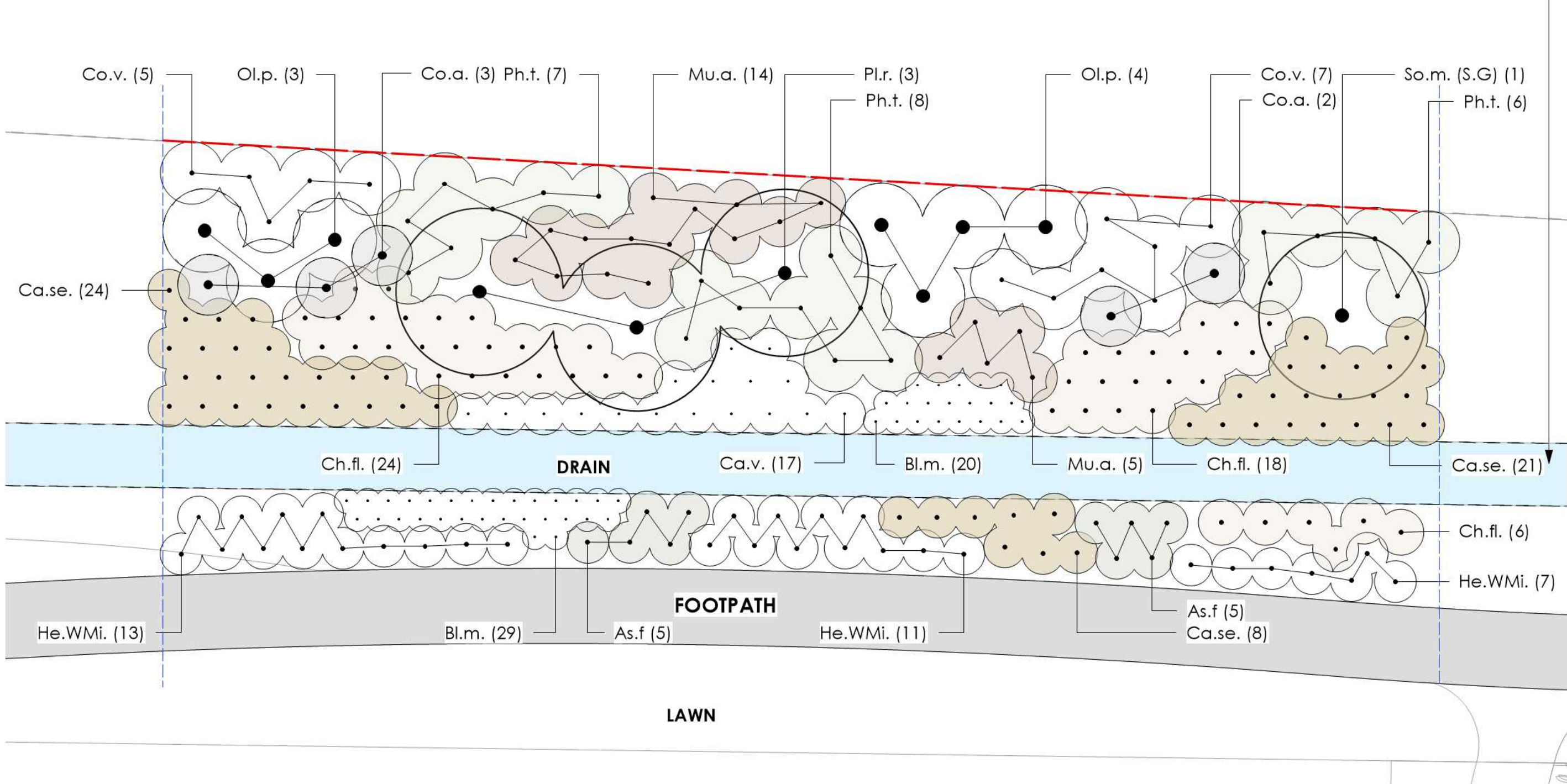


LOCATION PLAN
1:5000 @ A1 | 1:10000 @ A3



DRAIN PLAN
Scale: 1:1000 @ A1 | 1:2000 @ A3

INDICATIVE SMARTS DRAIN/ WATERWAY ALIGNMENT



TYPICAL 30M PLANTING PLAN
Scale: 1:100 @ A1 | 1:200 @ A3

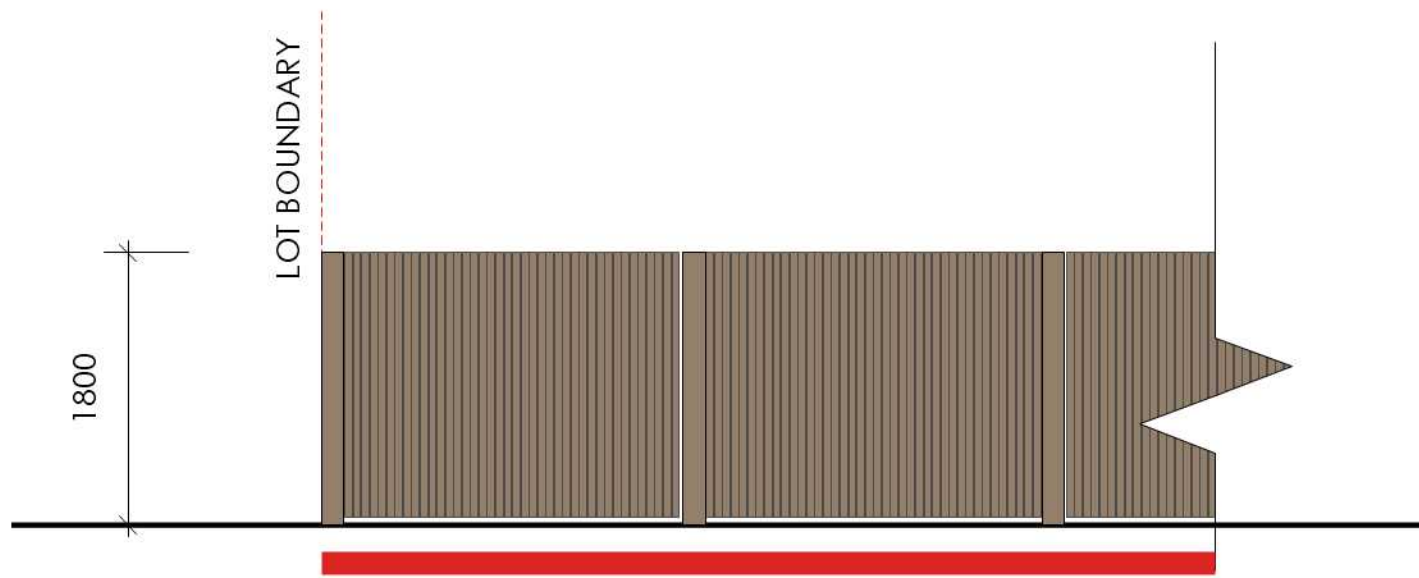


TYPICAL SECTION
Scale: 1:50 @ A1 | 1:100 @ A3

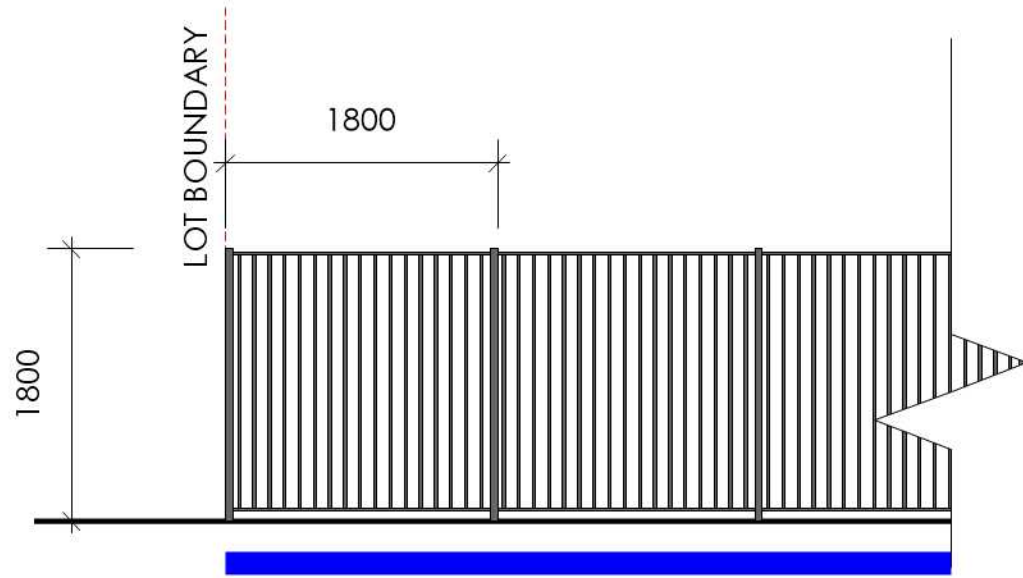
PLANT SCHEDULE (30M LONG TYPICAL)					
ID	Qty	Botanical Name	Common Name	Scheduled Size	Remarks
As.f	10	Astelia fragrans	Kakaha	600/PB12	Plant at 800mm centres or as shown
Bl.m.	49	Blechnum minus	Swamp Kiokio	300/PB5	Plant at 600 mm centres
Ca.se.	53	Carex secta	Sedge/Pukio	300/0.9L	Plant at 1000 mm centres
Ca.v.	17	Carex virgata	Sedge	300/0.9L	Plant at 1000mm centres
Ch.fl.	48	Chionochloa flavicans	Miniature Toe Toe	300/PB8	Plant at 850mm centres
Co.a.	5	Cordyline australis	Cabbage Tree / tī kōuka	100/12L	Plant as shown
Co.v.	12	Coprosma virescens	Mikimiki	350/2.5L	Plant at 1200mm centres
He.WMi.	31	Hebe 'Wiri Mist'	Koromiko	350/2.5L	Plant at 1000mm centres
Mu.a.	19	Muehlenbeckia astonii	Pohuehue	400/2.5L	Plant at 1000mm centres
Ol.p.	7	Olearia paniculata	Akiraho	300/2.5L	Plant at 1800mm centres
Ph.t.	21	Phormium tenax	Harakeke	400/2.5L	Plant at 1500mm centres
Pl.r.	3	Plagianthus regius	Ribbonwood / Manatu	3000/60L	Plant as shown
So.m. (S.G)	1	Sophora microphylla	Kowhai	1800/45L	Plant as shown

LEGEND

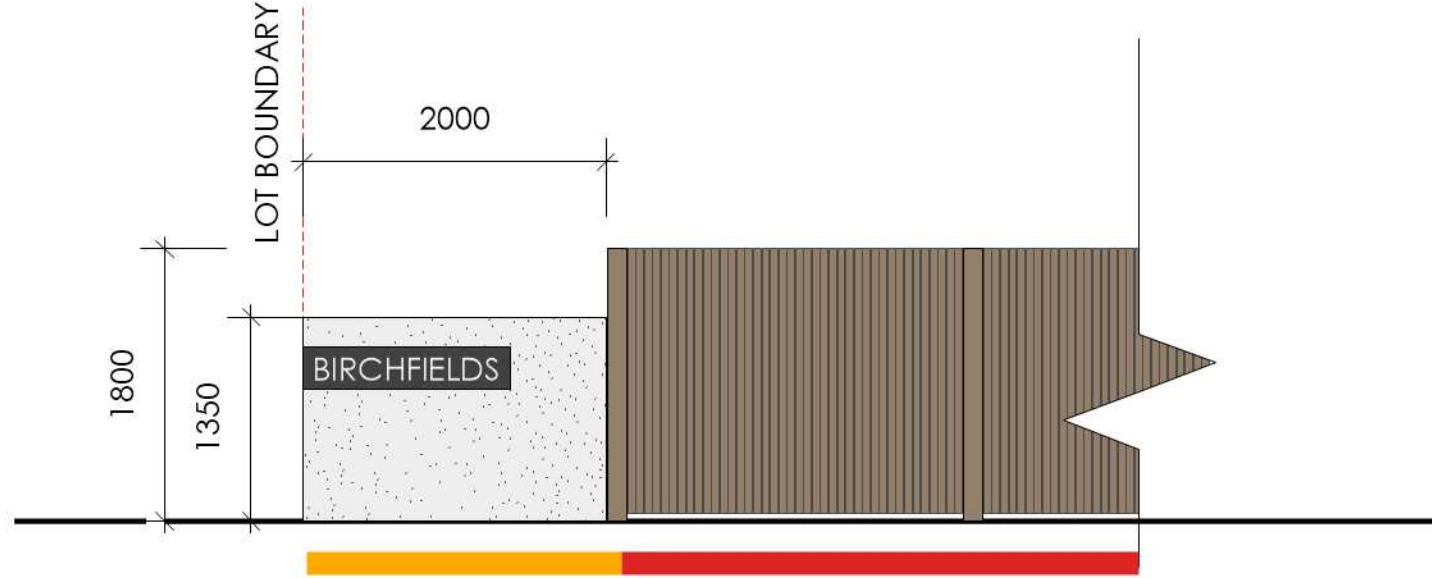
- STAGE BOUNDARY
- 1800mm High solid timber paling fence
- 1800mm High 50% transparent timber fence
- 1200 mm High Aluminum permeable railing fence
- 1100 mm High post and rail fence
- 1200 mm High Precast concrete 'reserve wall'
- Timber post and 4-rail fence to end of turning head. Stained charcoal.
- Existing farm wire fence to remain (make good where need be).



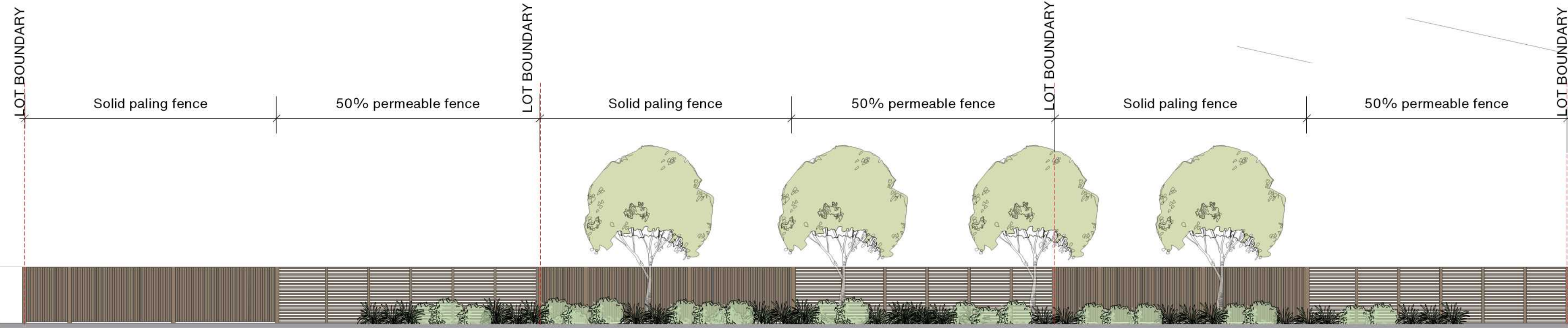
1 TYPICAL INTERLOT BOUNDARY FENCING SECTION
Scale: 1:50 @ A1 | 1:100 @ A3



2 SMARTS DRAIN RESERVE BOUNDARY FENCING SECTION
Scale: 1:50 @ A1 | 1:100 @ A3

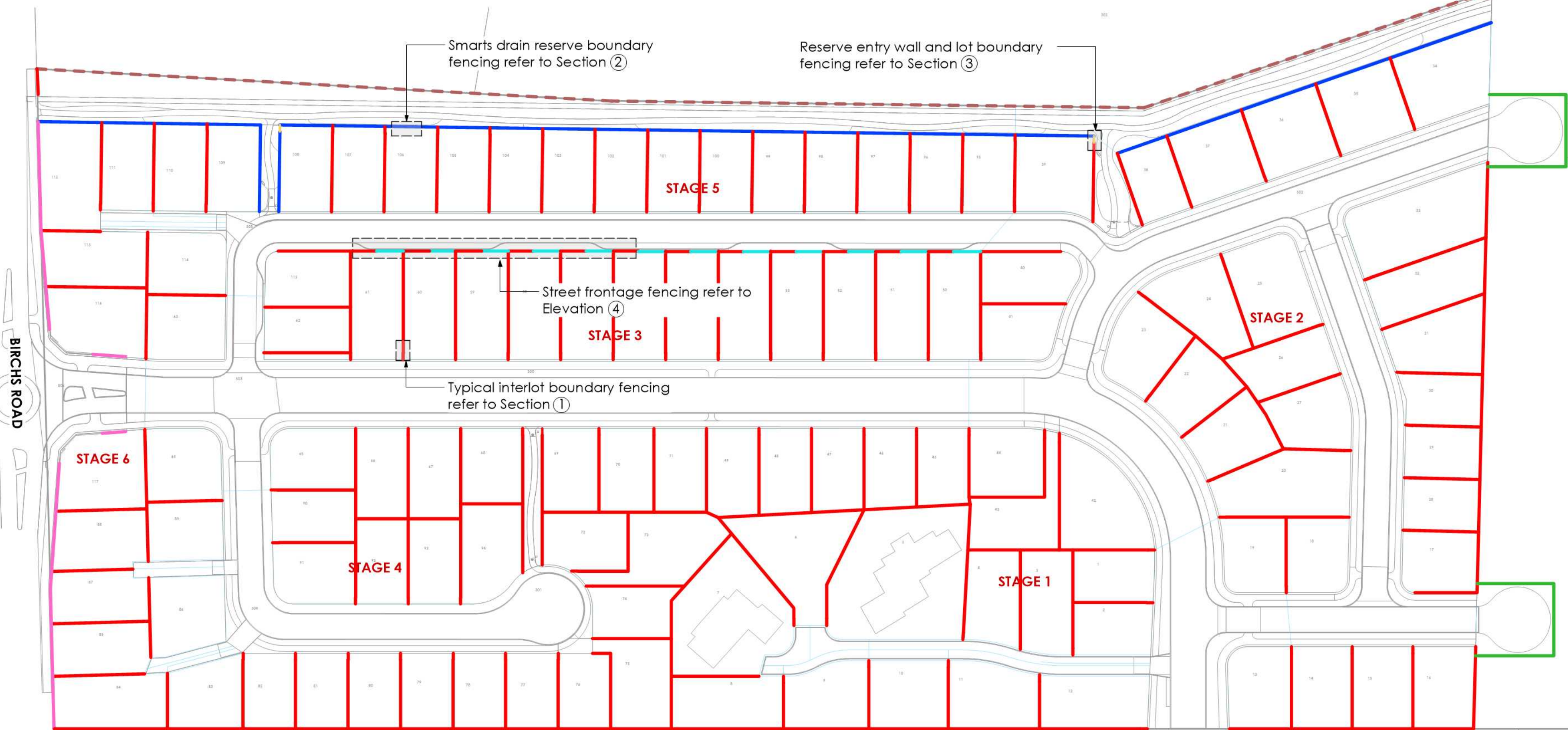


3 RESERVE ENTRY WALL AND LOT BOUNDARY FENCING SECTION
Scale: 1:50 @ A1 | 1:100 @ A3



4 STAGE 3 - STREET FRONTAGE FENCING ELEVATION
Scale: 1:100 @ A1 | 1:200 @ A3

TANCREDS ROAD



STAGE 7
DETAILS TO BE CONFIRMED
FOLLOWING DESIGN DEVELOPMENT

0 20 40 60 80 100 m

NOTES

- Confirm set out of all dimensions on site prior to commencing work.
- Do not scale off drawings.

C	08.12.25	For Client Approval
B	15.07.25	RESOURCE CONSENT
A	12.03.25	CONCEPT PLAN
REV	DATE	DESCRIPTION

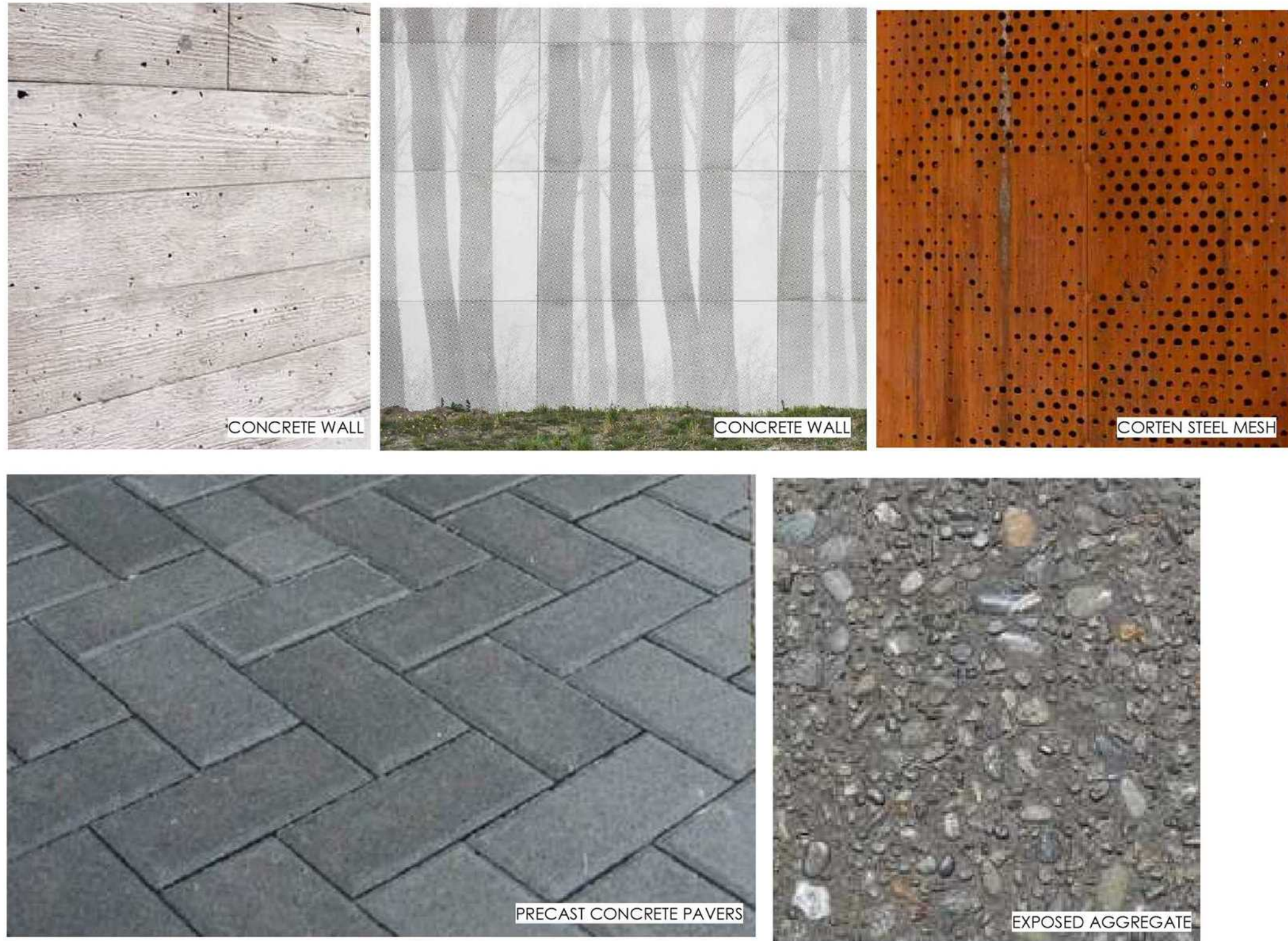
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SHEET TITLE
FENCING MASTERPLAN

ISSUE
FOR CLIENT APPROVAL

DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	1:2000 1:1000	A3 A1
REF NO.	5503	
SHEET NO.		REVISION

HARD LANDSCAPE



SOFT LANDSCAPE



- NOTES
1. Confirm set out of all dimensions on site prior to commencing work.
 2. Do not scale off drawings.

A	15.07.25	RESOURCE CONSENT
REV	DATE	DESCRIPTION
		 Kamo Marsh
Te Uruti Building, 48 Hereford St, Chch, 8140 Mountain Club, Level 3, 36 Grant Rd, Qtn, 9300		
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SHEET TITLE		
HARD/ SOFT PALETTE		
ISSUE		
FOR CLIENT APPROVAL		
DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	NTS	A3
	NTS	A1
REF NO.	5503	
SHEET NO.		REVISION



1 ENTRANCE WALL RENDER - A



2 ENTRANCE WALL RENDER - B

PROJECT NAME
555 BIRCHS ROAD

ENTRANCE WALL CONCEPT- OPTION A
ADDRESS
555 BIRCHS ROAD, LINCOLN,7608

CLIENT
BIRCHFIELDS ESTATES

C	02.02.26	For Client Approval
B	08.12.25	For Client Approval
A	15.07.25	RESOURCE CONSENT
REV	DATE	DESCRIPTION



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SHEET TITLE
RENDERS - BIRCHS RD ENTRANCE WALL

ISSUE
FOR CLIENT APPROVAL

DESIGN	DRAWN	REVIEW
DK	AZ	DK
DATE	02.02.26	
SCALE	NTS	

REF NO. 5503
SHEET NO. REVISION